



*Formerly DCG/Watershed*

# Biological Site Assessment

## **CAMPBELL RD UTILITY SUPPORT**

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**DECEMBER 2025**

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# TABLE OF CONTENTS

<b>1. INTRODUCTION.....</b>	<b>1</b>
1.1 Project Description .....	1
<b>2. EXISTING ENVIRONMENTAL CONDITIONS .....</b>	<b>3</b>
2.1 Vegetation and Habitat Features .....	3
2.2 Surrounding Land/Water Uses .....	3
2.3 Level of Development .....	3
2.4 Water Quality .....	3
<b>3. DESKTOP REVIEW .....</b>	<b>4</b>
3.1 Fish and Wildlife Habitat Conservation Areas.....	4
3.2 Wetlands .....	5
3.3 Geologically Hazardous Areas.....	5
3.4 Critical Aquifer Recharge Areas .....	6
3.5 Frequently Flooded Areas.....	6
<b>4. ACTION AREA .....</b>	<b>7</b>
4.1 Terrestrial Noise Calculations .....	7
<b>5. SPECIES INFORMATION .....</b>	<b>9</b>
5.1 Species Not Likely Present (No Effect).....	9
5.2 Species Potentially Present .....	11
<b>6. EFFECTS ANALYSIS .....</b>	<b>13</b>
6.1 Direct Impacts.....	13
6.2 Indirect Impacts.....	13
6.3 Cumulative Impacts.....	14
6.4 Determination of Effect .....	15
<b>7. CONSERVATION MEASURES.....</b>	<b>18</b>
7.1 Mitigation Sequencing .....	18
7.2 Best Management Practices .....	18
<b>8. REGULATORY SUMMARY .....</b>	<b>20</b>
8.1 Local Regulations.....	20
8.2 State and Federal Regulations.....	20
<b>9. BIOLOGICAL SITE ASSESSMENT CONCLUSION .....</b>	<b>22</b>
<b>REFERENCES .....</b>	<b>23</b>

## LIST OF FIGURES

Figure 1. Vicinity and Site Maps .....	1
Figure 2. Action Area Extent .....	8

## LIST OF TABLES

Table 1. Soil Unit Hydric Ratings .....	5
Table 2. Summary Table for Noise Level Calculations.....	8
Table 3. Effects of Project Activities on Habitats in the Project and Action Areas.....	14
Table 4. Summary of Proposed Action Effects on ESA-Listed Species and Their Critical Habitat.....	15

## LIST OF APPENDICES

- Appendix I – Site Plan
- Appendix II – Photo Log
- Appendix III – Author Qualifications

# 1. INTRODUCTION

The purpose of this report is to present the findings of a Biological Site Assessment (BSA) for 3691 Campbell Road in unincorporated Island County on Camano Island, Washington (Island County parcel R32922-205-0620) (Figure 1). This report has been written per Island County Code (ICC) 17.02B.400.B. The investigation, performed by Facet, was limited to the subject property. Areas within 1,000 feet of the property were assessed visually and through background research per ICC 17.02B.400.

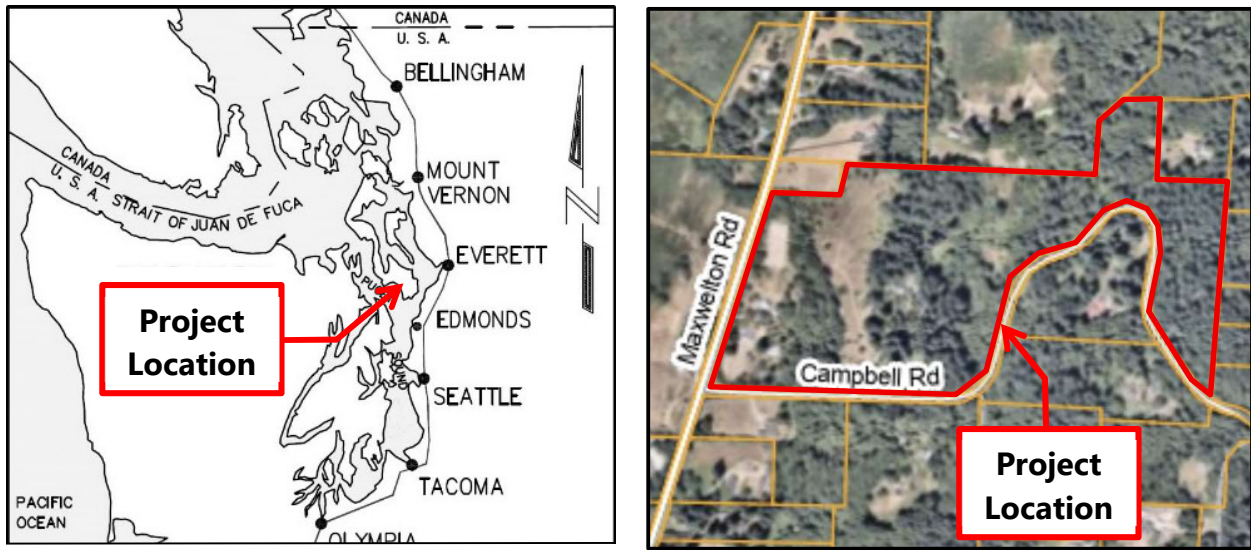


Figure 1. Vicinity and Site Maps

## 1.1 Project Description

The study area (hereafter, Property) is defined as parcel R32922-205-0620 and is approximately 40.77 acres in size (Figure 1). It is located in unincorporated Island County, Washington, approximately 1.03 miles southwest of WA-525 S. The Property includes one parcel that contains multiple single-family residences (SFRs), associated infrastructure, and internal access roads. Areas within the property that do not contain any structures are primarily forested. There are several open meadows on the western half of the property. The property contains multiple trails throughout that are mowed and cleared of brush. Topography on the site generally slopes from east to west, however multiple steep slopes are present throughout the eastern side of the Property.

The project proposes an environmental education retreat center (the "Retreat Center"). The Retreat Center will serve approximately 40 guests plus support staff with most programming occurring during the summer and shoulder seasons. It is anticipated that no more than 40 retreats will occur each calendar year. Each retreat will be approximately four to fourteen days in duration. Less than 750 people will participate in retreats each calendar year, and no event will exceed 75 individuals. The Retreat Center is an unclassified use in the County's zoning code.

The Property includes on-site wetlands and streams, with Stream Z bisecting the Property, creating two development "clusters". See Site Plan (Appendix I) depicting stream and wetlands locations and buffer setbacks. Cluster 1 is west of Stream Z and Cluster 2 is east of Stream Z.

- Cluster 1 includes the following improvements: dining hall/kitchen, dining restrooms, solar arrays, septic field, organic garden and orchard, toolshed (existing), wellhouse (existing), potting shed (existing), farmhouse (existing), barn – to be relocated (existing), and existing drive to remain –the access roadways will be widened to two-lanes per Public Works direction to a new gravel parking lot. New footpaths to structures. Accessory farm-related improvements (small greenhouse/hoop house, chicken coop).
- Cluster 2 includes the following improvements: 20 guest cottage suites situated in clusters with detached restrooms/bathhouses, staff cottage (new), staff house (existing), storage shed (with caretaker residence in loft), gathering building/library/restrooms, solar arrays, septic fields, tractor shed (existing), existing drive to remain –the access roadway will be widened per Public Works to a new gravel parking lot. New footpaths to residential units.

The Property will include 29 parking spaces as identified on Sheet 1.08 of the Site Plan. The existing bridge is to remain over the stream connecting Cluster 1 and Cluster 2 via a footpath.

Infrastructure: New power and water utility lines are required.

- Water: proposal includes a new Group A transient non-community water system.
- Power: Traditional PSE power will be utilized with solar/geothermal improvements. Two microgrids (comprising a series of building-mounted and ground-mounted PV solar arrays) will be located, serving Clusters 1 and 2, respectively. Sheet 1.09 (Appendix I) provides additional utility details.

Critical Areas: No work is proposed in critical area wetlands or streams or their buffers. Work is planned to be conducted within known critical recharge areas within the Property. There is no work proposed in or over waterbodies or associated buffers regulated by Washington State or the federal government.

## 2. EXISTING ENVIRONMENTAL CONDITIONS

Facet completed on-site investigations of existing conditions on October 7 and October 16, 2024, and August 6, 2025.

### **2.1 Vegetation and Habitat Features**

The Property encompasses a diverse range of habitat features, including forested areas, pastures, wetlands, and streams. Portions of the site that support SFRs or other structures are generally characterized by maintained lawns or open pasture. In contrast, the eastern portion of the Property remains largely undeveloped and is predominantly forested, providing higher-quality natural habitat relative to the more developed areas.

### **2.2 Surrounding Land/Water Uses**

The Property is within an area zoned as Rural. Surrounding properties are developed with SFRs and undeveloped forest.

### **2.3 Level of Development**

The Property is within a relatively low-density rural area. All surrounding parcels are zoned as Rural and are used for residential purposes.

### **2.4 Water Quality**

Water quality approximately 230 feet to the north of the Property within an unnamed stream has been rated as Category 5 (303d) for bacteria – fecal coliform.

## 3. DESKTOP REVIEW

Facet conducted background research using a variety of online sources, literature, and maps to identify wetlands, streams, and site characteristics indicative of critical area features on the Property. Key sources of information included the following:

- DOE Coastal Atlas Map
- DOE Water Quality Atlas
- Department of Natural Resources (DNR) Natural Heritage Program (NHP) Data Explorer
- DNR Forest Practices Application Mapping Tool (FPAMT)
- Island County Critical Areas Map (ICGeoMap)
- National Wetlands Inventory (NWI) Map
- Natural Resources Conservation Service (NRCS) Web Soil Survey
- Washington Department of Fish and Wildlife's (WDFW) Priority Habitats and Species (PHS) Map
- WDFW Statewide Washington Integrated Fish Distribution (SWIFD) Map

### 3.1 Fish and Wildlife Habitat Conservation Areas

Per ICC 17.02B.200.A, Fish and Wildlife Habitat Conservation Areas (FWHCAs) are those areas identified as being of critical importance to the maintenance of certain fish and wildlife species. These areas include the following:

*1. Areas with a primary association with endangered, threatened, and sensitive species.*

A full discussion of endangered, threatened, and sensitive species that have the potential to be impacted by the proposed project is provided in Section 5.

*2. Streams and waters of the state.*

Multiple streams were identified on-site (Streams X-Z), as well as one off-site stream (Stream 1). For a full assessment of these features, please refer to the delineation report completed by Facet dated August 19, 2025.

*3. State natural area preserves, natural resource conservation areas, and state wildlife areas.*

WDFW PHS identifies the listed occurrence of coho salmon (*Oncorhynchus kisutch*) within on-site Stream Z. Additionally, there are listed occurrences of big brown bat (*Eptesicus fuscus*), little brown bat (*Myotis lucifugus*), and Yuma myotis (*Myotis yumanensis*) within the township, but not necessarily within the Property.

*4. All areas designated by the Department of Natural Resources (DNR) through the Washington Natural Heritage Program (NHP) as high quality terrestrial ecosystems and shown on the most recent NHP maps and data.*

No known or historical rare plants or high quality ecosystems are identified by DNR NHP within the Property.

*5. Habitats and species of local importance.*

No habitats or species of local importance, per ICC 17.02B.230, are known to occur within the Property.

### 3.2 Wetlands

Three wetlands (Wetlands A - C) were delineated and flagged on the Property. Multiple wetlands were identified within 300 feet off-site to the east of the Property, on the opposite side of Campbell Road, and to the west, opposite of Maxwellton Road. However, since these roads are legally established and disrupt the natural buffer zones of the wetlands, their buffers will not extend onto the subject property per ICC 17.02B.460.D.1. An additional wetland was identified to the north, approximately 405 feet away from the property. As the maximum buffer width for wetlands is 300 feet, no further evaluation of these offsite wetlands is required. Please refer to the wetland delineation report for more information on all wetlands.

#### 3.2.1 Soils

The NRCS soil survey map identifies four soil types on the subject property. The soils are not listed as hydric per the Island County Hydric Soils List. A summary of the map units is provided in Table 1. However, the DNR Natural Heritage Program Mapper identifies hydric soils in the southern and eastern portions of the Property.

Table 1. Soil Unit Hydric Ratings

Map Unit Symbol	Map Unit Name	Unit Considered Hydric in Island County
2024	Indianola-Uselessbay complex, 5 to 30 percent slopes	No
2025	Utsalady-Uselessbay complex, 2 to 12 percent slopes	No
3021	Indianola loamy sandy, dry, 0 to 5 percent slopes	No
3024	Indianola loamy sand, 3 to 15 percent slopes	No

### 3.3 Geologically Hazardous Areas

Steep slopes are mapped throughout the site. ICGeoMap lists the property as being within a very low liquefaction susceptibility area. A geotechnical, infiltration, and critical areas report was prepared for the property by PanGEO Incorporated in April of 2025. Please refer to this report for detailed information on steep slopes, erosion hazards, and geotechnical recommendations.



### **3.4 Critical Aquifer Recharge Areas**

The Island County Critical Areas Map identifies the property as being located within both high and medium susceptibility aquifer recharge areas. The PanGEO report assesses the proposed project and its potential impact on aquifers. The report outlines that the proposed development will infiltrate or disperse all stormwater associated with infrastructure, which will allow it to recharge the aquifer and maintain the pre-development water balance. Additionally, the AESI peer review and update of the PanGeo report evaluates the impacts to groundwater of creating a new Group A Transient non-community well. AESI concludes that the aquifer impacts are expected to be minimal. Please refer to the AESI and PanGEO reports for additional information.

### **3.5 Frequently Flooded Areas**

Federal Emergency Management Agency (FEMA) Flood Maps do not identify any portion of the Property within a Flood Zone.

## 4. ACTION AREA

The Action Area is defined by the Endangered Species Act (ESA) regulations (50 CFR 402.02) as “all areas to be affected directly or indirectly by the Federal action and not merely the immediate area involved in the action.” The Action Area is distinct from the project footprint and encompasses a larger area extending to where no measurable effects from the project were anticipated to occur. For this project, the Action Area includes the project area as described above, and upland areas near the site where all project-related noise levels have reached background levels. As no in-water work is proposed, the Action Area was calculated for terrestrial noise attenuation to background levels only.

### 4.1 Terrestrial Noise Calculations

To define the Action Area, this assessment examines how project activities may generate noise above normal levels in the project vicinity. Elevated noise from these activities can negatively affect wildlife, leading to behavioral or health impacts. Terrestrial noise, measured in decibels (dBA) on an "A"-weighted logarithmic scale, is expected to increase due to the use of three loud pieces of equipment. The pieces of equipment used in the noise calculations for this project include an excavator, dump truck, and dozer. According to WSDOT's 2020 Biological Assessment Manual, typical noise levels for this equipment are 87 dBA for the excavator, 73 dBA for the dump truck, and 86 dBA for the dozer, all measured at a 50-foot distance. The highest combined noise level is calculated at 89 dBA at a 50-foot radius from the equipment.

The local population density near the project area is 148 persons per square mile with a background noise level of 40 dBA. Traffic noise in the area is estimated at 57.3 dBA. This noise level serves as the background noise level for this assessment (Table 2).

Although construction noise will exceed ambient levels, it is not expected to significantly affect terrestrial species. Noise typically attenuates by 6-7.5 dBA with each doubling of distance, depending on site conditions. In this case, the site is considered "soft" due to the forested and low-density surroundings, meaning noise will reduce to background levels approximately 1.25 miles from the source. Therefore, the Action Area for noise extends approximately 1.25 miles from project activities (Figure 2).

Table 2. Summary Table for Noise Level Calculations

<b>Proposed Project and Site Noise Levels</b>	
Project Noise Level	93 dBA
Background Noise Level <sup>1</sup>	40 dBA
Traffic Noise Level <sup>2</sup>	57.3 dBA
<b>Attenuation Distances</b>	
Construction to Background	6,591 feet
Traffic to Background	712 feet
<b>Construction Noise Extent</b>	
Construction to Background	6,591 feet

1. Background noise per Washington State Department of Transportation Biological Assessment Preparation Manual p.7-18.

2. Traffic noise at the property line based on 100 vehicles / hour traveling 35 mph 50 feet away.

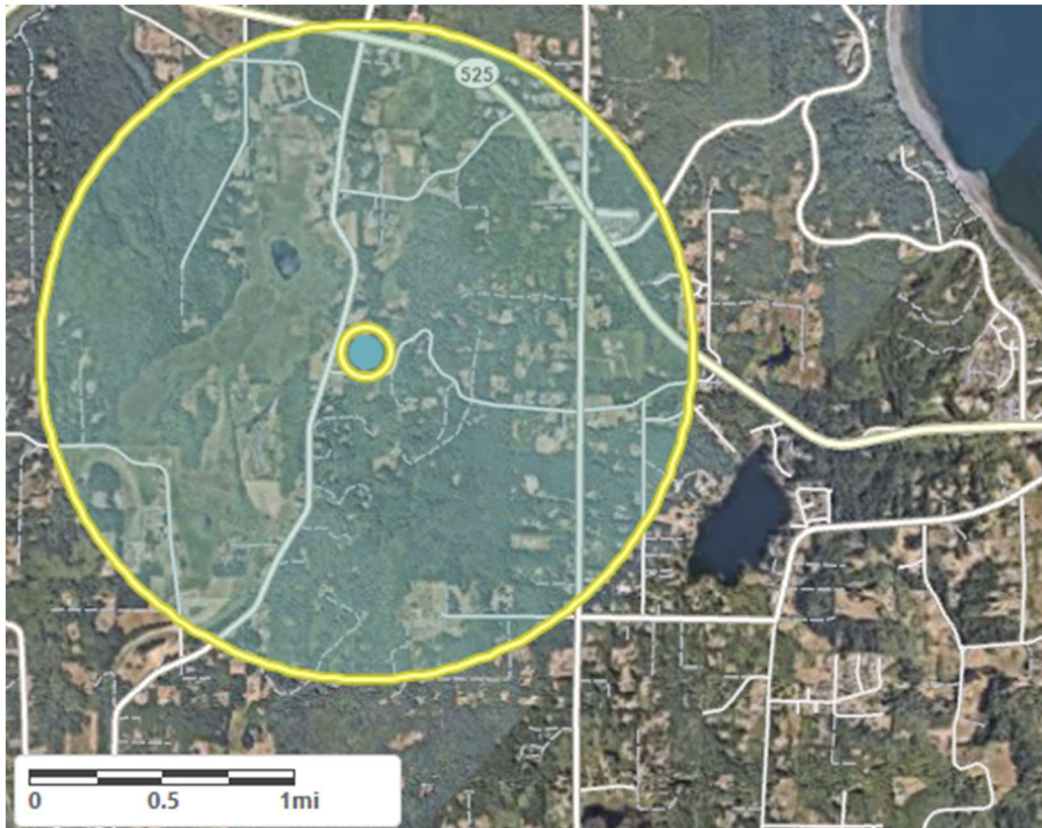


Figure 2. Action Area Extent

## 5. SPECIES INFORMATION

Facet reviewed data from the NMFS, and the USFWS Information for Planning and Consultation (IPaC) tool to identify any species and critical habitats listed under the ESA that may occur in or near the Action Area. Some species will not be present within the proposed project area due to unsuitable habitat or environmental conditions; and will therefore have a No Effect Determination. These species are briefly discussed in Section 5.1. Species and critical habitats potentially present and/or affected by the proposed project are detailed in Section 5.2.

The following species listed under the federal Endangered Species Act may occur in the vicinity of the project area or might be affected by the proposed work:

1. Puget Sound DPS Steelhead Trout (*Oncorhynchus mykiss*)
2. Puget Sound ESU Chinook Salmon (*Oncorhynchus tshawytscha*)
3. Bull Trout (*Salvelinus confluentus*)
4. Marbled Murrelet (*Brachyramphus marmoratus*)
5. Yellow-billed Cuckoo (*Coccyzus americanus*)
6. Northwestern Pond Turtle (*Actinemys marmorata*)
7. Suckley's Cuckoo Bumble Bee (*Bombus suckleyi*)
8. Monarch Butterfly (*Danaus plexippus*)

### 5.1 Species Not Likely Present (No Effect)

The following species are highly unlikely to occur within or near the Action Area due to the absence of suitable habitat and lack of documented occurrences and are therefore not discussed further within the Effects Analysis.

#### YELLOW-BILLED CUCKOO

The yellow-billed cuckoo is a relatively large riparian bird that is distributed throughout the U.S. Due to reductions in habitat, the yellow-billed cuckoo is rare in Washington. Breeding season typically occurs in late spring to early summer. During this period, they tend to move around and have large home ranges but are mostly found in areas with more than 200 acres of deciduous forests. Nesting habitat usually occurs at lower elevation riparian woodlands that contain willow trees, alders, or cottonwoods that are close to streams or rivers. Although there is not recently documented yellow-billed cuckoo nesting in Washington, it could occur anywhere in the state as much of Washington meets the qualifications for good nesting habitat. Though coniferous trees are present on the subject property, no sightings have been recorded by eBird within the vicinity. Due to the unlikely presence within the Action Area, the proposed project will have **no effect** on yellow-billed cuckoo. As no designated critical habitat is located within or near the Action Area, the proposed project will have **no effect** on yellow-billed cuckoo critical habitat.

#### NORTHWESTERN POND TURTLE

Northwestern pond turtle is proposed Threatened under the ESA. The historical range for this species extends from the Puget Sound lowlands in Washington to western portions of California, Nevada,

Oregon. The semi-aquatic turtles naturally occur near streams, lakes, ponds and wetlands with permanent or ephemeral water, but in Washington they are only known to inhabit ponds and lakes. While aquatic habitats provide foraging and refuge opportunities, they require nearby terrestrial habitat for breeding and overwintering habitat. They nest in grasslands and open woodlands around ponds. According to WDFW, there are six known occurrences of the turtle, two in the south Puget sound and four in the Columbia River Gorge.

Critical habitat has not yet been designated for the northwestern pond turtle. The Action Area does not contain any ponds suitable for northwestern pond turtle's habitat. Therefore, the project will have **no effect** on northwestern pond turtles.

### SUCKLEY'S CUCKOO BUMBLE BEE

Suckley's cuckoo bumble bee is listed as proposed endangered. This bee species has a broad distribution across North America, from the Yukon to Arizona and Newfoundland, and inhabits diverse environments ranging from meadows to urban areas. Suckley's cuckoo bumble bee requires host colonies for successful reproduction and native floral resources for nutrition. It also needs suitable overwintering sites, although these are not well understood. The decline of bumble bee populations, including Suckley's cuckoo, is primarily linked to habitat fragmentation, the negative effects of managed honeybee colonies, and habitat loss due to urbanization and intensive land use. Although Suckley's cuckoo bumble bee is a generalist forager, the loss of interconnected habitat for foraging, nesting, and overwintering is still a significant threat to its population.

Since Suckley's cuckoo bumble bees are habitat generalists, they may be present in the Action Area. However, the extensive habitat fragmentation of the Island County area and nearby areas reduces the likelihood of the species being present in appreciable numbers. The proposed project will not result in habitat loss or alteration that would be detrimental to the species, will not require the use of pesticides, and will not alter the balance of honeybees and bumble bees. Therefore, the project will have **no effect** on Suckley's cuckoo bumble bees.

### MONARCH BUTTERFLY

Monarch butterfly is listed as proposed threatened. In Western North America, individual Monarchs undergo long-distance migration in early spring (February to March) to over-wintering sites on the Pacific Coast. During the breeding season, monarchs lay their eggs on their obligate milkweed (*Asclepias sp.*) host plant. Adult monarchs lay their eggs on milkweed plants because it is the only food their caterpillar offspring can eat. In some regions, monarchs breed year-round in more temperate climates, but in others they will breed throughout their migration path. Monarch butterflies are strongly associated with open areas and sparsely vegetated habitats typically near riparian areas with milkweed and flowering plants. Proposed designated critical habitat includes seven counties in southern California.

As monarch butterflies can live in a wide variety of habitats, they may be present in the Action Area. The proposed project will not result in habitat loss or alteration that would be detrimental to the species. Alteration of areas either containing flowering plants or milkweed are not proposed. The Action Area does not contain suitable habitat or the monarch butterflies' host plant. Therefore, the project will have **no effect** on the monarch butterfly.

## 5.2 Species Potentially Present

### PUGET SOUND DPS STEELHEAD TROUT AND PUGET SOUND ESU CHINOOK SALMON

Most Chinook salmon in the Puget Sound are “ocean-type” and migrate to the marine environment during their first year. They may enter estuaries immediately after emergence as fry from March to May or they may enter the estuaries as fingerling smolts during May and June of their first year (Healey, 1982). Chinook salmon use estuaries as rearing areas and are the most dependent of all salmon species on estuaries for survival. As they grow and move into neritic habitats, they feed on decapod larvae, larval and juvenile fish, drift insects, and euphausiids. Sub yearling fry migrate to coastal habitats (estuarine and coastal creeks) within the first year.

The Puget Sound Evolutionary Significant Unit (ESU) of Chinook Salmon was listed as threatened under the ESA in August 1999. This ESU includes naturally spawning salmon from rivers flowing into the Puget Sound east of and including the Elwha River. The Puget Sound ESU exhibits two general life histories: a summer\fall run (July - October) and spring run (May -July). Spring-run Chinook return to areas in May through July to spawn in high elevation tributaries. Summer\fall-run Chinook return from July to October during low-flow periods and spawn in mainstream and large tributary reaches. Sub yearling fry migrate to coastal habitats (estuarine and coastal creeks) within the first year.

Steelhead trout exhibits perhaps the most complex suite of life-history traits of any of the Pacific salmon. Steelhead can be anadromous or freshwater residents and, in some circumstances, yield offspring of the opposite life-history form. The anadromous form can spend up to seven years in freshwater prior to smoltification, although two years is most common, and then spend up to four years in saltwater prior to first spawning. Unlike most Pacific salmon species, steelhead are iteroparous (individuals can spawn more than once). The adult winter steelhead run is generally from December to February, and spawning occurs from March through June. Juvenile steelhead out-migrate from April through June and are not anticipated in the nearshore in large numbers because most steelhead smolts migrate directly to the open ocean (i.e., they are not nearshore dependent) and do not rear extensively in the estuarine or coastal environments.

### BULL TROUT

Bull Trout was listed as threatened under the ESA in 1999. The coastal Puget Sound Bull Trout population is thought to contain the only anadromous forms of Bull Trout in the contiguous United States (Federal Register / Vol. 64, No. 210 / 1999). Although they are migratory species, they spend most of their lifetime in the same stream but migrate to larger bodies of water from smaller streams to overwinter and forage. Spawning occurs typically from August to November in streams and migration to the open sea (for anadromous populations) takes place in the spring. Following this season, bull trout migrate to freshwater river systems to overwinter. Bull trout prefer colder water temperatures than most salmonids and clean water substrates for spawning and rearing. They require complex habitats such as streams with riffles, deep pools, and undercut banks.

## MARbled MURRELET

Marbled murrelets are small marine birds in the Alcidae family that nest in the coastal old-growth forests of the Pacific Northwest. The breeding season of the marbled murrelet generally begins in April, with most egg-laying occurring in late May and early June. Marbled murrelet nesting season is April 1-September 23. By the end of August, chicks have fledged and dispersed from nesting areas. Marbled murrelets forage in nearshore marine environments and nest in adjacent coastal, old-growth conifer forest (up to 55 miles inland) with crown decadence capable of supporting nesting platforms that are at least 32-inches diameter at breast height (DBH). The nest typically consists of a depression on a moss-covered branch where a single egg is laid. When not nesting, the birds live at sea, spending their days feeding and then moving several miles offshore at night.

### 5.2.1 Critical Habitat

Critical habitat is designated for areas containing the physical and biological habitat features, or PCEs (Primary Constituent Elements) essential for the conservation of the species or which require special management considerations. PCEs include sites that are essential to supporting one or more life stages of the species and that contain physical or biological features essential to the conservation of the species. A discussion of the presence or absence of critical habitat and potential project impacts to PCEs (if critical habitat is present) is provided below.

## PUGET SOUND STEELHEAD TROUT AND CHINOOK SALMON

Critical habitat was designated for Puget Sound Chinook salmon on September 2, 2005, and Puget Sound steelhead on February 24, 2016. The Action Area **does not** encompass critical habitat for this species. Therefore, PCEs are not discussed.

## BULL TROUT

Critical habitat was designated for bull trout on October 18, 2010. The Action Area **does not** encompass critical habitat for this species. Therefore, PCEs are not discussed.

## MARbled MURRELET

Critical habitat was designated for marbled murrelet on May 24, 1996. The Action Area **does not** encompass critical habitat for this species. Therefore, PCEs are not discussed.

## 6. EFFECTS ANALYSIS

This section describes potential direct, indirect, and interrelated-interdependent effects of the proposed action on listed species and habitats. Potential disturbances caused by project activities are presented along with measurable indicators of habitat health.

### 6.1 Direct Impacts

Construction activities will likely result in temporary direct impacts on habitat through short-term reductions in overall habitat quality for birds and small mammals within the project vicinity. Noise levels have been calculated for the site and are provided in Section 4, with the noise radius of potential impact estimated at approximately 1.25 miles. Short-term direct impacts to wildlife from construction noise may include behavioral disturbances, increased stress levels, and temporary displacement from the Action Area. Many wildlife species are sensitive to sudden or sustained noise, which can disrupt foraging, breeding, nesting, and communication behaviors.

The construction of new buildings will result in a modest increase in impervious surface area; however, associated impacts are expected to be negligible since no substantial vegetation clearing is proposed. Vegetation removal will be limited to ornamental plantings and the selective removal of a few trees necessary for construction. Disturbed areas will be restored following construction through reseeded with native grasses or replanting with native trees and shrubs, ensuring that site vegetation and habitat quality are maintained over the long term.

The installation of a new well will involve direct ground disturbance from drilling, excavation, and equipment operation. These activities can temporarily disturb soils, displace small organisms, and increase the potential for localized sedimentation or compaction. With proper construction BMPs and compliance with water right regulations, these impacts are expected to be minimal and short-term.

No habitat known to be used by ESA-listed or other sensitive species will be directly affected. The proposed project will stay completely outside of on-site critical areas and their associated buffers, and therefore no wetland or stream impacts will occur.

### 6.2 Indirect Impacts

Indirect effects of the proposed action on terrestrial listed species may include temporary behavioral responses to non-injurious noise from construction activities. Physical habitat features are not expected to be substantially altered by the proposed action. Project development will occur within areas that currently support existing structures and maintained clearings, while the adjacent forested portions of the site will be avoided and left intact. Additionally, wetland and stream buffers shall be avoided, therefore no indirect wetland or stream impacts shall occur. Should ESA-listed terrestrial species be present they may experience some energetic cost from the dispersal of prey, resulting in a short-term expenditure of energy from seeking other food sources or browsing while waiting for prey to re-aggregate following noise effects.

Indirect impacts from limited vegetation removal are expected to be minimal and primarily beneficial. The selective removal of trees will increase sunlight exposure in certain areas of the site, allowing for the efficient use of solar panels to generate renewable energy and reduce long-term carbon emissions.



Because no trees will be removed within riparian or buffer areas, there will be no reduction in stream shading or changes to water temperature or habitat conditions. Overall, these minor vegetation modifications will support sustainable energy use while avoiding adverse effects on ecological functions or nearby critical areas.

New buildings associated with the project may cause deer and other large mammals to slightly adjust their local movement patterns; however, this change is expected to be negligible. The project site and surrounding properties are already developed with SFRs, access driveways, and other structures and infrastructure, all of which wildlife in the area would have already adapted to navigating. Local deer, raccoons, and other species are accustomed to moving around existing structures, fences, and human activity. The proposed new structures will be limited in extent and located within previously disturbed or maintained areas, allowing continued movement through and around the site. As such, the new structures will not create barriers that fragment habitat or restrict regional wildlife movement corridors, and overall habitat connectivity and ecological function will remain consistent with current conditions.

The increased impervious surface from the new structures is not expected to impact stormwater infiltration on-site. According to the PanGEO report, as most of the site will be left in a naturally vegetated and undeveloped state, natural dispersion and infiltration of stormwater will remain.

The reports from PanGEO and AESI conclude that the development of a new Group A TNC water system will not substantially impact groundwater levels. The two existing wells on-site will continue to be used for irrigation purposes. Please refer to these reports for a full analysis on groundwater impacts.

### 6.3 Cumulative Impacts

This section discusses how activities associated with the project will contribute to improvement, maintenance, or degradation of habitats used by ESA-listed species in the project area. Potential disturbances caused by project activities are presented along with measurable indicators of habitat health. Net effect is defined here as the overall effect on the species and habitat in the long term. If short-term adverse conditions occur when few or no listed species are present in the Action Area, and if those conditions are no longer present when listed species return to the area, those conditions do not constitute adverse modification of the indicator of habitat quality (Table 3).

Table 3. Effects of Project Activities on Habitats in the Project and Action Areas

Project Activities	Habitat Indicator	Effects of Action		
		Improve <sup>1</sup>	Maintain <sup>2</sup>	Degrade <sup>3</sup>
Construction Disturbances	Noise		X	
	Entrainment		X	
	Stranding		X	
Water Quality Disturbance	Turbidity		X	
	Chemical Contamination/Nutrients		X	
	Temperature		X	
	Dissolved Oxygen		X	
Sediment Disturbance	Sedimentation Sources/Rates		X	
	Sediment Quality		X	
Habitat	Fish Access/Refugia		X	

Project Activities	Habitat Indicator	Effects of Action		
		Improve <sup>1</sup>	Maintain <sup>2</sup>	Degrade <sup>3</sup>
Disturbance	Depth		X	
	Substrate		X	
	Slope		X	
	Shoreline		X	
	Riparian Conditions		X	
	Flow and Hydrology/Current Patterns/ Saltwater-Freshwater Mixing Patterns		X	
	Overwater Structures		X	
	Impervious Surface			X
Biota Disturbance	Prey		X	
	Infauna		X	
	Aquatic/Wetland Vegetation		X	
	Nonindigenous Species		X	
	Ecological Diversity		X	

1. Action will contribute to long-term improvement, over existing conditions, of the habitat indicator.

2. Action will maintain existing conditions.

3. Action will contribute to long-term degradation, over existing conditions, of the habitat indicator.

## 6.4 Determination of Effect

The effects determination is the conclusion of the analysis of potential direct or indirect effects of the proposed activity on listed species and critical habitat. The conclusions that could result from the effects analysis for the effects determination include:

- **No Effect (NE).** The appropriate conclusion when the action agency determines its proposed action will not affect listed species or critical habitat.
- **May Affect, is Not Likely to Adversely Affect (NLAA).** The appropriate conclusion when effects on listed species are expected to be discountable, insignificant, or completely beneficial. Beneficial effects are contemporaneous positive effects without any adverse effects on the species. Insignificant effects relate to the size of the impact and should never reach the scale at which take occurs. Discountable effects are those extremely unlikely to occur. Using best judgment, a person would not (1) be able to meaningfully measure, detect, or evaluate insignificant effects or (2) expect discountable effects to occur.
- **May Affect, is Likely to Adversely Affect (LAA).** The appropriate conclusion if any adverse effect to listed species may occur as a direct or indirect result of the proposed action or its interrelated or interdependent actions, and the effect is not discountable, insignificant, or beneficial (see definition of "may affect, is not likely to adversely affect").

A key factor in making an effect determination and distinguishing between a significant and insignificant effect is determining whether the effect would be significant enough to cause a take.

Table 4. Summary of Proposed Action Effects on ESA-Listed Species and Their Critical Habitat

Species	Listing Status	Agency	Species Effects Determination	Critical Habitat in Action Area	Critical Habitat Effects Determination
Puget Sound ESU Steelhead Trout ( <i>Oncorhynchus mykiss</i> )	Threatened	NMFS	NE	No	N/A
Puget Sound ESU Chinook Salmon ( <i>Oncorhynchus tshawytscha</i> )	Threatened	NMFS	NE	No	N/A
Bull Trout ( <i>Salvelinus confluentus</i> )	Threatened	USFWS	NE	No	N/A
Marbled Murrelet ( <i>Brachyramphus marmoratus</i> )	Threatened	USFWS	NE	No	N/A
Yellow-billed Cuckoo ( <i>Coccyzus americanus</i> )	Threatened	USFWS	NE	No	N/A
Northwestern Pond Turtle ( <i>Actinemys marmorata</i> )	Proposed Threatened	USFWS	NE	No	N/A
Suckley's Cuckoo Bumble Bee ( <i>Bomus suckleyi</i> )	Proposed Endangered	USFWS	NE	No	N/A
Monarch Butterfly ( <i>Danaus plexippus</i> )	Proposed Threatened	USFWS	NE	No	N/A

Notes:

1. N/A = Not Applicable (no critical habitat designated in Action Area)

### 6.4.1 Species Effects Determination

Species not likely present in the Action Area were discussed in detail within Section 5.1 and were determined that the project will have **no effect** on the species or critical habitat. These species include the following:

- Yellow-billed Cuckoo
- Northwestern Pond Turtle
- Suckley's Cuckoo Bumble Bee
- Monarch Butterfly

Based on the guidance and definitions provided above and the previously discussed project effects, the project will not affect below mentioned ESA-listed species, as the project will avoid all critical areas and their buffers that naturally protects any aquatic species. In addition, there have been no sightings of marbled murrelets in the vicinity of the Property. Therefore, the effect determination is that this project will have **no effect** on the following species:

- Puget Sound Steelhead Trout and Chinook Salmon
- Coastal Puget Sound Bull Trout
- Marbled Murrelet

#### 6.4.2 Critical Habitat Effects Determination

The Action Area does not encompass any designated critical habitat for any species potentially present. Therefore, the proposed project will have **no effect** on steelhead trout, chinook salmon, or marbled murrelet critical habitat.

## 7. CONSERVATION MEASURES

Conservation measures presented here include avoidance and minimization measures that are intended to address both local and state requirements as outlined in the Shoreline Master Program (SMP) and Washington Administrative Code (WAC). The following section describes how this project meets the regulatory requirements by defining steps taken during project planning and implementation to find the least environmentally damaging practicable alternative to achieve the project goal.

### 7.1 Mitigation Sequencing

Though the proposed project has been shown not to adversely impact any species, habitat, or critical areas, mitigation sequencing has been applied to show the Client's commitment to ensuring environmental stewardship as part of the project. Per ICC 17.02B.080(B), mitigation sequencing is as follows:

*1. Avoiding the impact altogether by not taking a certain action or parts of an action;*

The proposed project has been carefully designed to completely avoid both direct and indirect impacts to on-site critical areas, including associated wetlands, streams, and their buffers. The design process included multiple iterations to ensure full compliance with local critical areas protections and to maximize the use of accessible upland areas. Earlier design concepts considered construction methods such as directional drilling within the stream and wetland buffer areas; however, these approaches were ultimately revised to eliminate any potential encroachment. The final design fully avoids all critical areas and buffer impacts, with all proposed development confined to areas of the site that have been previously disturbed or outside of protected habitat. Since all impacts are avoided altogether, no further assessment of mitigation sequencing is required.

### 7.2 Best Management Practices

The following conservation measures and BMPs will be incorporated by the applicant in order to avoid, reduce intensity, or otherwise minimize potential site impacts. Additional sediment and erosion control measures are detailed within the Site Plan and will be utilized during construction.

1. All construction and site-disturbing activities shall be confined to previously disturbed or developed areas to the maximum extent practicable. No clearing or grading shall occur within designated wetland or stream buffers.
2. Vegetation disturbance will be minimized to the greatest extent practicable, and all temporarily disturbed areas will be stabilized and revegetated with appropriate native species following construction.
3. Temporary erosion and sediment control measures (e.g., silt fencing, straw wattles, or compost socks) shall be installed prior to any ground-disturbing work and maintained in good condition throughout construction to prevent sediment-laden runoff from entering adjacent wetlands or streams.

4. Excavated soils, construction materials, and stockpiles shall be placed outside of wetland and stream buffers and protected with appropriate erosion control measures.
5. Equipment and materials shall be managed to prevent spills of fuel, oil, hydraulic fluid, or other contaminants. Absorbent materials and spill kits shall be kept on-site and used immediately in the event of a spill.
6. All equipment shall be inspected daily for leaks. Any necessary repairs shall be completed prior to the commencement of work. Drip pans or containment shall be used when stationary equipment is operated near buffer areas.
7. Refueling will be conducted away from waterways in accordance with Washington State Department of Ecology guidelines.
8. All construction debris, excess materials, and waste shall be collected and properly disposed of at an approved off-site facility. No debris shall be deposited within buffer areas, drainage ways, or surface waters.
9. No filling, excavation, or heavy equipment operation shall occur near the top of steep slopes that drain toward wetlands or streams, unless adequately stabilized and approved as part of the construction plan.
10. In the event of a spill or discharge to any wetland, stream, or buffer area, work shall cease immediately. Containment and cleanup shall begin at once, and the appropriate regulatory agencies shall be notified (e.g., Washington Department of Ecology and local jurisdiction).
11. All work shall remain within approved disturbance limits and shall not encroach onto adjacent properties, easements, or required buffer/setback areas.

## 8. REGULATORY SUMMARY

The project will occur on a private parcel located in Island County and will not impact any critical areas or buffers. Agencies that will have jurisdiction and will require protection measures include Island County and the Department of Ecology.

### 8.1 Local Regulations

This project is located within Island County and is therefore subject to the County's land use and environmental regulations under ICC 17.02B – Island County Critical Areas Regulations and ICC 17.03 – Island County Zoning Code. As the local jurisdiction, Island County is responsible for reviewing development proposals to ensure compliance with applicable zoning, critical areas, stormwater, and permitting requirements. The County provides oversight to ensure that development protects natural resources, maintains habitat functions, and adheres to local land use standards.

### 8.2 State and Federal Regulations

#### 8.2.1 Federal Agencies

Many wetlands and streams are regulated by the U.S. Army Corps of Engineers (Corps) under Section 404 of the Clean Water Act. Any proposed filling or other direct impacts to Waters of the U.S. (WOTUS), including wetlands (except isolated wetlands), would require preconstruction notification and permit authorization from the Corps. Jurisdictional waters include Traditional Navigable Waters (TNWs), and water bodies within a Relatively Permanent Water (RPW) connection to TNWs, tributaries, impoundments of jurisdictional waters (lakes and ponds), and adjacent wetlands. Disturbance under a half-acre of non-isolated wetlands requires an application for a Nationwide Permit from the Corps. Disturbances exceeding a half-acre require an Individual Permit from the Corps.

Unavoidable impacts to jurisdictional wetlands are typically required to be compensated through implementation of an approved mitigation plan. If activities requiring a Corps permit are proposed, a Joint Aquatic Resource Permit Application (JARPA) could be submitted to obtain authorization.

In all cases, the Corps requires demonstrated compliance with Section 7 of the Endangered Species Act. Compliance with the Endangered Species Act must be demonstrated for activities within jurisdictional streams and wetlands. Application for Corps permits may also require an individual Section 401 Water Quality Certification and Coastal Zone Management Consistency determination from Ecology and a cultural resource study in accordance with Section 106 of the National Historic Preservation Act.

The project does not propose to impact any wetlands or waterbodies. If that were to change, a Jurisdictional Determination (JD) would be needed from the Corps to make an official determination of jurisdictional status of on-site wetland and waterbodies.

## ECOLOGY

Like the Corps, Ecology is charged with reviewing, conditioning, and approving or denying certain federally permitted actions that result in discharges to state waters under Section 401 of the Clean Water Act. However, Ecology review under the Clean Water Act would only become necessary if a

Section 404 permit from the Corps is required. Ecology approvals are typically either issued concurrently with the Corps approval or within 90 days following the Corps approval.

## **WDFW**

Chapter 77.55 of the RCW (the Hydraulic Code) gives WDFW the authority to review, condition, and approve or deny “any construction activity that will use, divert, obstruct, or change the bed or flow of state waters.” This provision includes any in-water work, the crossing or bridging of any state waters and can sometimes include stormwater discharge to state waters or other adjacent activities that may affect the bed, or banks, of state waters. WDFW will issue a Hydraulic Project Approval (HPA) if a project meets regulatory requirements.

WDFW can also restrict activities to a particular timeframe through the conditions of approval on an HPA. Work is typically restricted based on juvenile salmon migration, feeding, and rearing or spawning of forage fish.



## 9. BIOLOGICAL SITE ASSESSMENT CONCLUSION

The proposed project is an environmental education retreat center. The Retreat Center will serve approximately 40 guests plus support staff with most programming occurring during the summer and shoulder seasons. The project has been designed to completely avoid impacts to on-site wetlands, streams, and their associated buffers, and all evaluated ESA species received a **no effect** determination.

All stormwater generated by new infrastructure will be infiltrated or dispersed on-site to maintain pre-development hydrology and support natural aquifer recharge. The development of a new Group A TNC water system with only limited use of existing wells for irrigation will have minimal impacts on groundwater levels.

Construction activities may cause short-term, localized disturbance to wildlife from noise and human activity, but no long-term habitat effects are anticipated. New structures will be located within previously disturbed areas, allowing wildlife such as deer and small mammals to continue moving freely around the site without habitat fragmentation.

No habitat known to support ESA-listed or sensitive species will be affected, and the project will occur entirely outside all critical areas and their buffers. As confirmed in the analysis' conducted by PanGEO and AESI analysis, the project will not substantially alter groundwater levels or adversely affect ecological functions.

Within the limitations of schedule, scope of work, and seasonal constraints, Facet warrants that this study was conducted in accordance with generally accepted investigation practices, including the technical guidelines and criteria in effect at the time this study was performed.

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## **APPENDIX I:** Site Plan

## SHEET LIST

### SURVEY

B1.00 RECORD OF SURVEY LOT COMBINATION  
B1.01 RECORD OF SURVEY LOT COMBINATION  
B1.02 RECORD OF SURVEY LOT COMBINATION

### ARCHITECTURAL

A1.00 EXISTING CONDITIONS PLAN  
A1.01 CRITICAL AREAS PLAN - WETLANDS  
A1.02 CRITICAL AREA PLAN - CRITICAL AQUIFER RECHARGE  
A1.03 STEEP SLOPES PLAN  
A1.04 SITE PLAN  
A1.05 DIMENSION PLANS  
A1.06 DIMENSION PLANS  
A1.07 DIMENSION PLANS  
A1.08 SITE CIRCULATION PLAN  
A1.09 SITE UTILITIES PLAN (SEPTIC, WELLS, WATER, GEO, PV, POWER)  
A1.10 OPEN SPACE PLAN  
A1.11 LANDSCAPE PLAN  
A1.12 LIGHTING/SIGNAGE PLAN  
A1.13 SITE ELEVATIONS

### CIVIL

C1.00 OVERALL TESC  
C1.01 TESC  
C1.02 TESC  
C1.03 TESC  
C2.00 OVERALL STORM DRAINAGE PLAN  
C2.01 STORM DRAINAGE PLAN  
C2.02 STORM DRAINAGE PLAN  
C2.03 STORM DRAINAGE PLAN

## PARCEL NO.

PARCEL NO. R32922-205-0620  
PER BLA 326/24 RECORDED 12.30.2024

## LEGAL DESCRIPTION

EMERGENCE INSTITUTE - SITE PLAN REVIEW

LEGAL DESCRIPTION: PARCEL A

THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, LYING EAST OF THE EASTERLY RIGHT OF MAXWELTON ROAD AND NORTH OF THE NORTHERLY RIGHT OF WAY OF CAMPBELL ROAD;

EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, DESCRIBED AS FOLLOWS;

BEGINNING AT THE INTERSECTION OF THE EAST BOUNDARY OF MAXWELTON ROAD AND THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;  
THENCE EAST 290 FEET;  
THENCE SOUTH 150 FEET;  
THENCE WEST PARALLEL WITH SAID NORTH LINE TO THE EAST LINE OF SAID COUNTY ROAD;  
THENCE NORTHEASTERLY ALONG SAID COUNTY ROAD TO THE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, LYING NORTH OF THE NORTHERLY RIGHT OF WAY OF CAMPBELL ROAD;

AND TOGETHER WITH THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER;  
THENCE NORTH 87°28'33" WEST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF OF 331.50 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 04°13'47" EAST 367.49 FEET  
THENCE NORTH 88°59'04" WEST 180.00 FEET  
THENCE SOUTH 47°39'54" WEST 145.50 FEET  
THENCE SOUTH 03°35'46" WEST 260.00 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER WHICH IS SITUATE SOUTH 87°28'33" EAST 800.00 FEET FROM THE SOUTHWEST CORNER THEREOF;  
THENCE SOUTH 87°28'33" EAST 277.00 FEET TO THE POINT OF BEGINNING;

SITUATE IN ISLAND COUNTY, WASHINGTON.

## SITE

ZONING:	RURAL
SIZE:	40.77 ACRES
SETBACK (FRONT):	30' ALONG MAXWELTON ROAD, 20' ALONG CAMPBELL ROAD
SETBACK (SIDE & REAR):	5'
HEIGHT LIMIT (FT):	35'
ACCESS PERMITS (EXISTING):	A18214C (3691 CAMPBELL ROAD) PW2024 - 0212 (6263 MAXWELTON ROAD - MAILBOX SAYS 6253)
ACCESS PERMIT (PROPOSED):	(2) COMMERCIAL DOUBLE ACCESS PERMITS
WATER SOURCE (EXISTING):	FORMERLY NMA NORTH 2P565, NOW INDIVIDUAL WELL
WATER SOURCE (PROPOSED):	NEW TRANSIENT NON-COMMUNITY GROUP A WATER SYSTEM
WASTEWATER (EXISTING):	(2) RESIDENTIAL SEPTIC PERMITS PT-2024-316 (6263 MAXWELTON ROAD) PT-600-91 (3691 CAMPBELL ROAD)
WASTEWATER (PROPOSED):	(3) COMMERCIAL SEPTIC PERMITS
SITE REGISTRATION:	SITE REGISTRATION: SR2024-145 SR2024-147
RELATED PERMITS:	24-1161 (6263 MAXWELTON ROAD REMODEL) 24-1394 (3691 CAMPBELL ROAD REMODEL)

## PROJECT DIRECTORY

### OWNER (LEASOR):

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POINT REYES STATION, CA 94956

### CLIENT (LEASEE):

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# EMERGENCE INSTITUTE

3691 CAMPBELL ROAD &  
6253/6263 MAXWELTON ROAD

SITE PLAN REVIEW

06.03.2025

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REVISION:  
 NO. DESCRIPTION DATE

STAMP:

**mw|works**  
 architecture+design  
 159 WESTERN AVE W, SUITE 484  
 SEATTLE, WASHINGTON 98119  
 P.206.352.7319  
 WWW.MVWORKS.COM

PROJECT:  
**EMERGENCE INSTITUTE**  
 2302  
 3691 CAMPBELL ROAD &  
 6263 MAXWELTON ROAD

DRAWING TITLE:  
**RECORD OF SURVEY LOT COMBINATION**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025  
 ISSUED FOR: SITE PLAN REVIEW  
 DRAWN BY: CE/VB  
 CHECKED BY: CK  
 SCALE:  
 SHEET NO.:

**B1.00**

**OWNER'S CONSENT**

KNOWN ALL BY THESE PRESENT THAT THE UNDERSIGNED PROPERTY OWNER(S) HEREBY CERTIFY THAT THIS LOT COMBINATION IS MADE AS THEIR FREE AND VOLUNTARY ACT AND DEED.

Cleary Vaughan-Lee Cleary Vaughan-Lee 12/23/24  
 NMA NORTH, LLC  
 A WASHINGTON LIMITED LIABILITY COMPANY  
 BY: Cleary Vaughan-Lee  
 ITS: Manager

**FUTURE COMPLIANCE WITH COUNTY CODE ACKNOWLEDGMENTS**

I/WE ACKNOWLEDGE THAT ISLAND COUNTY DOES NOT DETERMINE THAT THE RECONFIGURED LOTS ARE USABLE OR BUILDABLE DURING THE REVIEW OF THIS BOUNDARY LINE ADJUSTMENT, AND THAT COMPLIANCE WITH ALL APPLICABLE COUNTY CODES INCLUDING THOSE CONTAINED IN TITLES 8 (HEALTH, WELFARE, AND SANITATION), 11 (LAND DEVELOPMENT STANDARDS), 13 (PUBLIC WORKS), AND 17 (ISLAND COUNTY CRITICAL AREAS AND ZONING ORDINANCE) WILL BE REQUIRED BEFORE ANY DEVELOPMENT OF THE MODIFIED LOTS IS PERMITTED OR BEFORE ANY PERMITS ARE ISSUED BY ISLAND COUNTY.

TAX PARCEL NOS. R32922-205-0620, R32922-245-0950, R32922-265-1920, R32922-297-2250  
Cleary Vaughan-Lee Cleary Vaughan-Lee 12/23/24  
 NMA NORTH, LLC  
 A WASHINGTON LIMITED LIABILITY COMPANY  
 BY: Cleary Vaughan-Lee  
 ITS: Manager

I/WE ACKNOWLEDGE THAT COUNTY APPROVAL OF A BLA PROPOSAL DOES NOT GUARANTEE OR IMPLY THAT THE SUBJECT PROPERTY MAY BE DEVELOPED OR SUBDIVIDED, BE GROUNDS FOR APPROVAL OF SUBSEQUENT MODIFICATION OR VARIANCE REQUESTS AND COMPLIANCE WITH ALL APPLICABLE COUNTY CODES CONTAINED IN 10C TITLES 8 (HEALTH, WELFARE AND SANITATION), 11 (LAND DEVELOPMENT STANDARDS), 13 (PUBLIC WORKS), 14 (BUILDING CODE), 16 (PLANNING AND SUBDIVISION), AND 17 (ISLAND COUNTY CRITICAL AREAS AND ZONING ORDINANCE) WILL BE REQUIRED BEFORE ANY DEVELOPMENT OF THE MODIFIED PARCELS WILL BE PERMITTED

TAX PARCEL NOS. R32922-205-0620, R32922-245-0950, R32922-265-1920, R32922-297-2250  
Cleary Vaughan-Lee Cleary Vaughan-Lee 12/23/24  
 NMA NORTH, LLC  
 A WASHINGTON LIMITED LIABILITY COMPANY  
 BY: Cleary Vaughan-Lee  
 ITS: Manager

**ACKNOWLEDGMENT**

STATE OF Calif. )  
 COUNTY OF Marin ) SS

THIS IS TO CERTIFY THAT ON THIS 23rd DAY OF December, 2024, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONER AND SWORN, APPEARED Cleary Vaughan-Lee TO ME KNOWN TO BE THE INDIVIDUAL(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGE TO ME THAT Cleary Vaughan-Lee AND SEALED THE SAME AS THEIR FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES MENTIONED HEREIN.

DATED: 12-23-2024

SIGNATURE: Janice A. Kehoe  
 (PRINT NAME): Janice A. Kehoe

NOTARY PUBLIC IN AND FOR THE STATE OF California  
 RESIDING AT: 6150 Pierce Blvd. Taverness, CA  
 MY APPOINTMENT EXPIRES: 12-27-2027  
 AF# Comm# 2474424

**NMA NORTH, LLC LOT COMBINATION**

A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. & A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. & A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M.

**FILE NO. 326/24 BLA**

**ISLAND COUNTY, WASHINGTON**

**ISLAND COUNTY DIRECTOR'S APPROVAL CERTIFICATE**

APPROVAL OF BOUNDARY LINE ADJUSTMENT 326/24. THIS BOUNDARY LINE ADJUSTMENT CONFORMS TO THE REQUIREMENTS AS ESTABLISHED BY CHAPTER 16.06 OF THE ISLAND COUNTY CODE AND IS HEREBY APPROVED. ISLAND COUNTY DOES NOT IN ANY WAY WARRANT NOR GUARANTEE THE ACCURACY OF THIS RECORD OF SURVEY.

NOTE: APPROVAL EXPIRES IF THIS DOCUMENT IS NOT RECORDED WITHIN SIX (6) MONTHS OF THE FOLLOWING DATE.

APPROVED THIS 30 DAY OF December, 2024

[Signature]  
 ISLAND COUNTY PLANNING DIRECTOR OR APPOINTED DESIGNEE

**ISLAND COUNTY TREASURER'S CERTIFICATE**

ALL TAXES LEVIED WHICH HAVE BECOME A LIEN UPON THE LANDS HEREIN DESCRIBED HAVE BEEN FULLY PAID AND DISCHARGED ACCORDING TO THE RECORDS OF MY OFFICE, INCLUDING TAXES FOR THE CURRENT YEAR, 2024.

TAX PARCEL NOS. R32922-205-0620, R32922-245-0950, R32922-265-1920, R32922-297-2250  
[Signature] 12/30/2024  
 ISLAND COUNTY TREASURER DATE

**VICINITY MAP**  
 SCALE: 1" = 2,000'

**MATTERS OF RECORD**

- SUBJECT TO ANY PORTION OF SAID LAND NOW, FORMERLY OR IN THE FUTURE COVERED BY WATER; QUESTIONS OR ADVERSE CLAIMS RELATED TO (1) LATERAL BOUNDARIES OF "UNNAMED CREEK"; (2) SHIFTING IN COURSE, BOUNDARY OR LOCATION OF THE BODY OF WATER; (3) RIGHTS OF THE STATE OF WASHINGTON IF THE BODY OF WATER IS OR WAS NAVIGABLE; AND (4) PUBLIC REGULATORY AND RECREATIONAL RIGHTS (INCLUDING POWERS OF THE USA) OR PRIVATE RIPARIAN RIGHTS WHICH LIMIT OR PROHIBIT USE OF THE LAND OR WATER.
- SUBJECT TO A USE OF A ROADWAY LETTER, INCLUDING THE TERMS, COVENANTS AND PROVISIONS THEREOF RECORDED UNDER RECORDING NUMBER 191924.
- SUBJECT TO MATTERS DISCLOSED ON FACE OF SAID SURVEY RECORDED UNDER RECORDING NUMBER 305946.
- SUBJECT TO AN ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE, TOGETHER WITH NECESSARY APPURTENANCES EASEMENT(S) FOR THE PURPOSE(S) SHOWN THEREIN AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED UNDER RECORDING NUMBER 84002985.
- SUBJECT TO A COMMUNICATION CABLES AND ASSOCIATED COMMUNICATIONS FACILITIES AND EQUIPMENT EASEMENT(S) FOR THE PURPOSE(S) SHOWN THEREIN AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED UNDER RECORDING NUMBER 84002599.
- SUBJECT TO A BOUNDARY LINE ADJUSTMENT, INCLUDING THE TERMS, COVENANTS AND PROVISIONS THEREOF RECORDED UNDER RECORDING NUMBER 85000359.
- SUBJECT TO A WATER WELL SHARING AGREEMENT, INCLUDING THE TERMS, COVENANTS AND PROVISIONS THEREOF RECORDED UNDER RECORDING NUMBER 90016474.
- SUBJECT TO MATTERS DISCLOSED ON FACE OF SAID SURVEY RECORDED UNDER RECORDING NUMBER 92002064.
- SUBJECT TO A COMMUNICATION CABLES AND ASSOCIATED COMMUNICATIONS FACILITIES AND EQUIPMENT EASEMENT(S) FOR THE PURPOSE(S) SHOWN THEREIN AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED UNDER RECORDING NUMBER 92006672.
- SUBJECT TO AN ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE, TOGETHER WITH NECESSARY APPURTENANCES EASEMENT(S) FOR THE PURPOSE(S) SHOWN THEREIN AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT RECORDED UNDER RECORDING NUMBER 92007108.
- SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDED UNDER RECORDING NUMBER 4561405.

**AUDITOR'S CERTIFICATE**

FILED FOR RECORD THIS 30 DAY OF Dec, 2024,  
 AT 11:20 MINUTES IN VOLUME \_\_\_\_\_ OF SURVEYS,  
 PAGE(S) \_\_\_\_\_ UNDER AUDITOR'S FILE NUMBER 4560020

RECORDS OF ISLAND COUNTY AT THE REQUEST OF THE ISLAND COUNTY AUDITOR.  
[Signature] [Signature]  
 ISLAND COUNTY AUDITOR DEPUTY COUNTY AUDITOR

**LAND SURVEYOR'S CERTIFICATE**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF ISLAND COUNTY AND THE WASHINGTON STATE SURVEY RECORDING ACT AT THE REQUEST OF  
 NMA NORTH, LLC IN JULY, 2024.

[Signature] 12/19/2024  
 AARON ELI TYSON REGISTRATION #53114 DATE

**RECORD OF SURVEY LOT COMBINATION**  
 ISLAND COUNTY, WASHINGTON

DWN. BY	DATE	JOB NO.
ASL	12-19-2024	24-258
CHKD. BY	DATE	SHEET
AET	S22-T29N-R3E SE 1/4, NW 1/4 NW 1/4 & NE 1/4, SW 1/4	1 OF 3

4560020  
 12/30/2024 11:04:19 AM  
 Survey File # 326/24 BLA  
 Island County, Washington  
 CONFORMED COPY

4/18/2025 10:05:44 AM

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REVISION:

NO. DESCRIPTION DATE

STAMP:

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architecture+design

159 WESTERN AVE W, SUITE 484  
SEATTLE, WASHINGTON 98119  
P.206.352.7319  
WWW.MVWORKS.COM

PROJECT:

EMERGENCE INSTITUTE

2302

3691 CAMPBELL ROAD &  
6263 MAXWELTON ROAD

DRAWING TITLE:

RECORD OF SURVEY LOT  
COMBINATION

**NOT FOR  
CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

DRAWN BY: CE/VB

CHECKED BY: CK

SCALE:

SHEET NO.:

**B1.01**

**NMA NORTH, LLC LOT COMBINATION**

A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. &  
A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. &  
A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M.

FILE NO. 326/24 BLA

ISLAND COUNTY, WASHINGTON

**EXISTING LEGAL DESCRIPTIONS**

PARCEL A (R32922-205-0820):

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF COUNTY ROAD KNOWN AS MAXWELTON ROAD AND CAMPBELL ROAD;  
THENCE NORTHERLY ALONG MAXWELTON ROAD, 370 FEET;  
THENCE EASTERLY PARALLEL TO THE NORTH LINE OF CAMPBELL ROAD, 370 FEET, MORE OR LESS, TO THE MIDDLE OF A CREEK;  
THENCE SOUTHERLY ALONG THE MIDDLE OF SAID CREEK TO THE NORTH BOUNDARY OF CAMPBELL ROAD;  
THENCE WEST ALONG CAMPBELL ROAD TO THE POINT OF BEGINNING.

SITUATE IN ISLAND COUNTY, WASHINGTON.

PARCEL B (R32922-245-0850):

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER LYING EAST OF THE RIGHT OF WAY OF COUNTY ROAD KNOWN AS MAXWELTON ROAD, IN SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THE SOUTH 214.5 FEET THEREOF;

AND EXCEPT THE FOLLOWING DESCRIBED TRACTS:

- BEGINNING AT THE INTERSECTION OF THE EAST BOUNDARY OF MAXWELTON ROAD AND THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;  
THENCE EAST 290 FEET;  
THENCE SOUTH 150 FEET;  
THENCE WEST TO THE EAST LINE OF SAID COUNTY ROAD;  
THENCE NORTHEASTERLY ALONG SAID COUNTY ROAD TO THE POINT OF BEGINNING;
- BEGINNING AT THE INTERSECTION OF MAXWELTON AND CAMPBELL ROADS;  
THENCE NORTHERLY 370 FEET ALONG THE EAST LINE OF MAXWELTON ROAD TO THE NORTHWEST CORNER OF THAT CERTAIN TRACT CONVEYED TO JOHNNY LEE BY DEED RECORDED MARCH 2, 1988, AS AUDITOR'S FILE NO. 180740;  
THENCE EASTERLY ALONG THE NORTH LINE OF SAID LEE TRACT AND PARALLEL TO THE NORTH RIGHT OF WAY LINE OF CAMPBELL ROAD 370 FEET, MORE OR LESS, TO THE MIDDLE OF A CREEK AS IT EXISTED ON MARCH 1, 1988, AND THE NORTHEAST CORNER OF SAID LEE TRACT; THENCE SOUTHERLY ALONG THE MIDDLE OF SAID CREEK 370 FEET, MORE OR LESS, TO THE NORTH RIGHT OF WAY LINE OF CAMPBELL ROAD;  
THENCE WESTERLY ALONG SAID NORTH RIGHT OF WAY LINE 370 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SITUATE IN ISLAND COUNTY, WASHINGTON.

PARCEL C (R32922-285-1920):

THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THAT PORTION LYING SOUTHERLY OF THE NORTHERLY RIGHT OF WAY LINE OF CAMPBELL ROAD;

AND EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, 900 FEET EAST OF THE NORTHWEST CORNER OF SAID SUBDIVISION;  
THENCE EAST ALONG SAID NORTH LINE, 100 FEET;  
THENCE SOUTH TO THE NORTHERLY LINE OF CAMPBELL ROAD;  
THENCE WESTERLY ALONG SAID NORTHERLY LINE TO A POINT SOUTH OF THE POINT OF BEGINNING;  
THENCE NORTH TO THE POINT OF BEGINNING.

SITUATE IN ISLAND COUNTY, WASHINGTON.

PARCEL D (R32922-297-2250):

A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, AND A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER;  
THENCE ALONG THE SOUTH LINE THEREOF NORTH 87°28'33" WEST A DISTANCE OF 408.50 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER SOUTH 87°28'33" EAST, A DISTANCE OF 77.00 FEET;  
THENCE NORTH 04°13'47" EAST 367.49 FEET;  
THENCE NORTH 88°59'04" WEST 180.00 FEET;  
THENCE SOUTH 47°39'54" EAST 145.50 FEET;  
THENCE SOUTH 03°35'46" EAST 260.00 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER WHICH IS SITUATE SOUTH 87°28'33" EAST 800.00 FEET FROM THE SOUTHWEST CORNER THEREOF;  
THENCE SOUTH 87°28'33" EAST 100.00 FEET;  
THENCE SOUTH 134.00 FEET, MORE OR LESS, TO A POINT ON CAMPBELL ROAD NORTHERLY RIGHT OF WAY MARGIN, LYING 30.00 FEET NORTHERLY OF THE AS BUILT CENTERLINE THEREOF;  
THENCE EASTERLY ALONG THE NORTHERLY RIGHT OF WAY MARGIN OF CAMPBELL ROAD AND THE ARC OF A CURVE TO THE RIGHT, BEING PARALLEL TO THE AS BUILT CENTERLINE THEREOF, TO A POINT ON CURVE WHICH IS SITUATE SOUTH 134.00 FEET, MORE OR LESS, FROM THE TRUE POINT OF BEGINNING;  
THENCE NORTH 134.00 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING.

SITUATE IN ISLAND COUNTY, WASHINGTON.

AF# \_\_\_\_\_

**NEW LEGAL DESCRIPTION**

PARCEL A:

THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, LYING EAST OF THE EASTERLY RIGHT OF MAXWELTON ROAD AND NORTH OF THE NORTHERLY RIGHT OF WAY OF CAMPBELL ROAD;

EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EAST BOUNDARY OF MAXWELTON ROAD AND THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER;  
THENCE EAST 290 FEET;  
THENCE SOUTH 150 FEET;  
THENCE WEST PARALLEL WITH SAID NORTH LINE TO THE EAST LINE OF SAID COUNTY ROAD;  
THENCE NORTHEASTERLY ALONG SAID COUNTY ROAD TO THE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, LYING NORTH OF THE NORTHERLY RIGHT OF WAY OF CAMPBELL ROAD;

AND TOGETHER WITH THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST OF THE WILLAMETTE MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER;  
THENCE NORTH 87°28'33" WEST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 331.50 FEET TO THE TRUE POINT OF BEGINNING;  
THENCE NORTH 04°13'47" EAST 367.49 FEET;  
THENCE NORTH 88°59'04" WEST 180.00 FEET;  
THENCE SOUTH 47°39'54" WEST 145.50 FEET;  
THENCE SOUTH 03°35'46" WEST 260.00 FEET TO A POINT ON THE SOUTH BOUNDARY OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER WHICH IS SITUATE SOUTH 87°28'33" EAST 800.00 FEET FROM THE SOUTHWEST CORNER THEREOF;  
THENCE SOUTH 87°28'33" EAST 277.00 FEET TO THE POINT OF BEGINNING;

SITUATE IN ISLAND COUNTY, WASHINGTON.

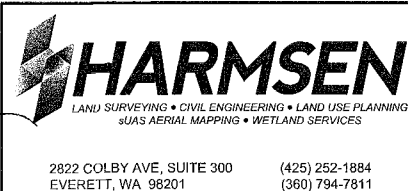
**SURVEY NARRATIVE**

FOR THIS LOT CONSOLIDATION, I AM HOLDING A RECENT SURVEY OF THE OVERALL PROPERTY THAT WAS PERFORMED BY A.S.E. & T. INC. LAND SURVEYING BETWEEN MARCH AND MAY OF 2022 AND RECORDED UNDER ISLAND COUNTY AUDITOR'S FILE NUMBER 4644721. I HAVE REVIEWED THE LEGAL DESCRIPTIONS TO CONFIRM THE BOUNDARY. HARMSSEN LLC HAS TIED THE CONTROLLING MONUMENTS SHOWN ON SAID SURVEY AND VERIFIED THE FENCES AND PROPERTY CORNERS SHOWN HEREON AS FOUND. ADDITIONAL CORNERS ARE SHOWN AS CALCULATED PER THE REFERENCED SURVEY, THE EAST LINE OF THIS PROPERTY AND THAT PORTION KNOWN AS PRE-EXISTING PARCEL D WERE NOT SURVEYED DURING THE COURSE OF THE FIELD WORK.

FOR ADDITIONAL SECTION INFORMATION SEE THE REFERENCED SURVEY.

THE RIGHT OF WAY FOR MAXWELTON ROAD AND CAMPBELL ROAD WERE CALCULATED PER THE REFERENCED SURVEY.

FOR ADDITIONAL SECTION INFORMATION PLEASE SEE REFERENCE SURVEY AF#4544721



RECORD OF SURVEY LOT COMBINATION NMA NORTH, LLC ISLAND COUNTY, WASHINGTON		
DWN. BY	DATE	JOB NO.
ASL	12-19-2024	24-258
CHKD. BY	SHEET	
AET	S22-T29N-R3E SE 1/4, NW 1/4 NW 1/4 & NE 1/4, SW 1/4	2 OF 3

4/18/2025 10:05:47 AM

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REVISION:  
NO. DESCRIPTION DATE

STAMP:

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architecture+design  
159 WESTERN AVE W, SUITE 484  
SEATTLE, WASHINGTON 98119  
P.206.352.7319  
WWW.MVWORKS.COM

PROJECT:  
**EMERGENCE INSTITUTE**  
2302  
3691 CAMPBELL ROAD &  
6263 MAXWELTON ROAD

DRAWING TITLE:  
**RECORD OF SURVEY LOT COMBINATION**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

DRAWN BY: CE/VB

CHECKED BY: CK

SCALE:

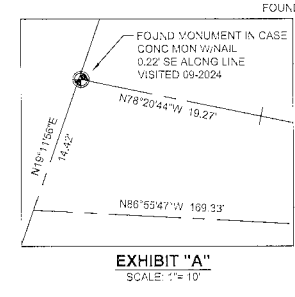
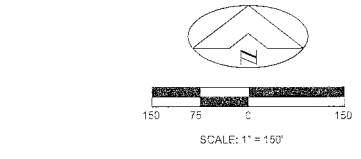
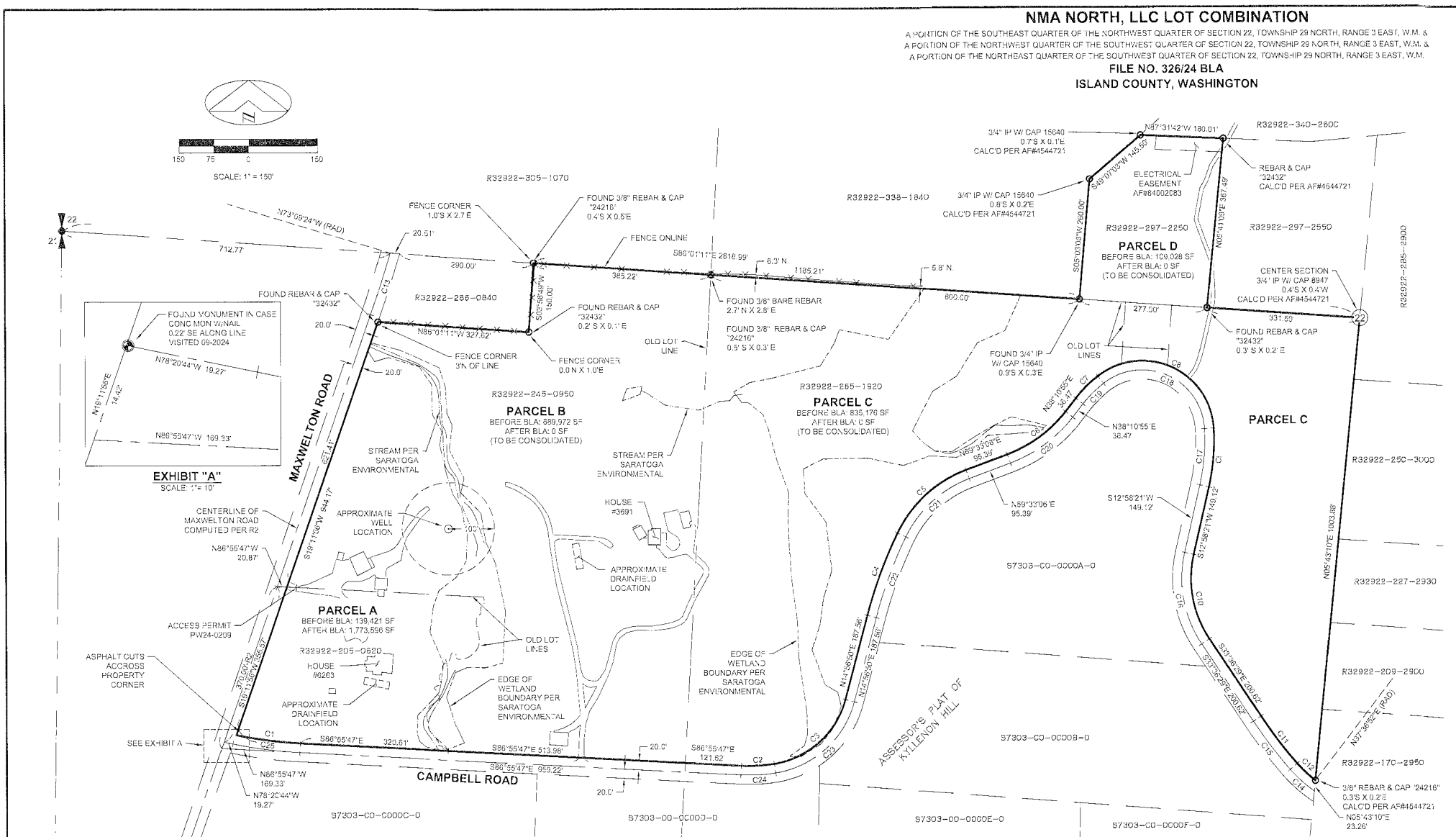
SHEET NO.:

**B1.02**

**NMA NORTH, LLC LOT COMBINATION**

A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. & A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. & A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M.

**FILE NO. 326/24 BLA**  
**ISLAND COUNTY, WASHINGTON**



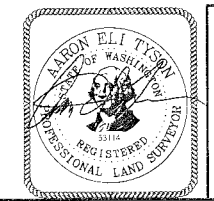
**BASIS OF BEARING**  
NORTH 88°42'22" WEST BETWEEN FOUND MONUMENTS ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 3 EAST, W.M. ACCORDING TO THAT SURVEY RECORDED UNDER ISLAND COUNTY AUDITOR'S FILE NUMBER 454472.

**LEGEND**  
● FOUND MONUMENT AS NOTED  
○ FOUND SURVEY MARKER AS NOTED  
C CALCULATED  
M MEASURED

AF# \_\_\_\_\_

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH
C1	960.00'	8°22'19"	140.27'
C2	345.00'	11°54'34"	71.71'
C3	153.00'	68°12'45"	219.57'
C4	990.00'	11°00'04"	190.59'
C5	270.00'	43°38'11"	205.47'
C6	280.00'	31°22'10"	158.78'
C7	285.00'	13°36'13"	67.67'
C8	155.00'	124°59'31"	338.14'
C9	453.00'	18°11'42"	128.04'
C10	235.00'	40°34'55"	91.95'
C11	970.00'	7°35'46"	128.66'
C12	276.00'	11°10'53"	55.88'
C13	3388.00'	2°21'20"	139.29'
C14	296.00'	13°23'38"	70.56'
C15	990.00'	7°35'46"	131.25'
C16	255.00'	48°34'50"	267.31'
C17	433.00'	18°11'42"	122.39'
C18	135.00'	124°59'31"	284.51'
C19	285.00'	13°36'13"	62.02'
C20	310.00'	31°22'10"	169.73'
C21	250.00'	43°38'11"	90.29'
C22	970.00'	-1°00'04"	186.29'
C23	210.00'	66°24'45"	242.69'
C24	365.00'	11°54'34"	75.87'
C25	980.00'	8°35'03"	146.83'

**SURVEY NOTES**  
EQUIPMENT: 3" OR LESS TOTAL STATION AND/OR GNSS NETWORK HOVER  
METHOD: FIELD TRAVERSE AND/OR WASHINGTON STATE REFERENCE NETWORK GNSS  
THE FIELD TRAVERSES USED IN THIS SURVEY MEET OR EXCEED THOSE STANDARDS CONTAINED IN WAC 332-130-090. THE SET AND LOCATED BOUNDARY MONUMENT POSITIONS MEET OR EXCEED THOSE STANDARDS CONTAINED IN WAC 332-130-085.  
THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.



**HARMSSEN**  
LAND SURVEYING • CIVIL ENGINEERING • LAND USE PLANNING  
• UAS AERIAL MAPPING • WETLAND SERVICES  
2822 COLBY AVE, SUITE 300 (425) 252-1884  
EVERETT, WA 98201 (360) 794-7811

**SURVEY REFERENCES**  
RECORD OF SURVEY, AFN 373987  
RECORD OF SURVEY, AFN 92002064  
RECORD OF SURVEY, AFN 4544721

RECORD OF SURVEY LOT COMBINATION NMA NORTH, LLC ISLAND COUNTY, WASHINGTON		
DWN. BY	DATE	JOB NO.
ASL	12-19-2024	24-250
CHKD. BY	SCALE	SHEET
AET	S22-T25N-R3E SE 1/4, NW 1/4 NW 1/4 & NE 1/4, SW 1/4	3 OF 3



**EXISTING BUILDINGS:**

**GROSS SF**

1	MAIN STAFF HOUSE	1970 SF
2	FARMHOUSE	2400 SF
3	TOOL SHED	680 SF
4	POTTING SHED	200 SF
5a	WELLHOUSE (NON-POTABLE)	100 SF
5b	WELLHOUSE (POTABLE)	80 SF
6	TRACTOR SHED	1150 SF
7	BARN TO BE RELOCATED FOR FARM STORAGE/LAUNDRY	1050 SF

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT

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**REVISION:**

NO.	DESCRIPTION	DATE
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**STAMP:**

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architecture+design

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SEATTLE, WASHINGTON 98119  
P.206.352.7319  
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**PROJECT:**

**EMERGENCE INSTITUTE**

2302

3691 CAMPBELL ROAD &  
6253/6263 MAXWELTON ROAD

**DRAWING TITLE:**

**EXISTING CONDITIONS  
PLAN**

**NOT FOR  
CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

DRAWN BY: CE/VB

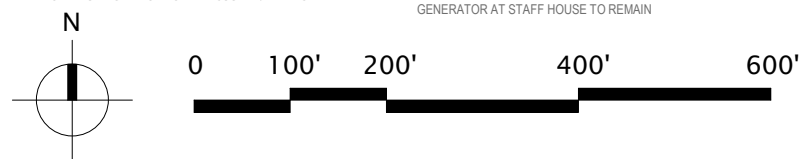
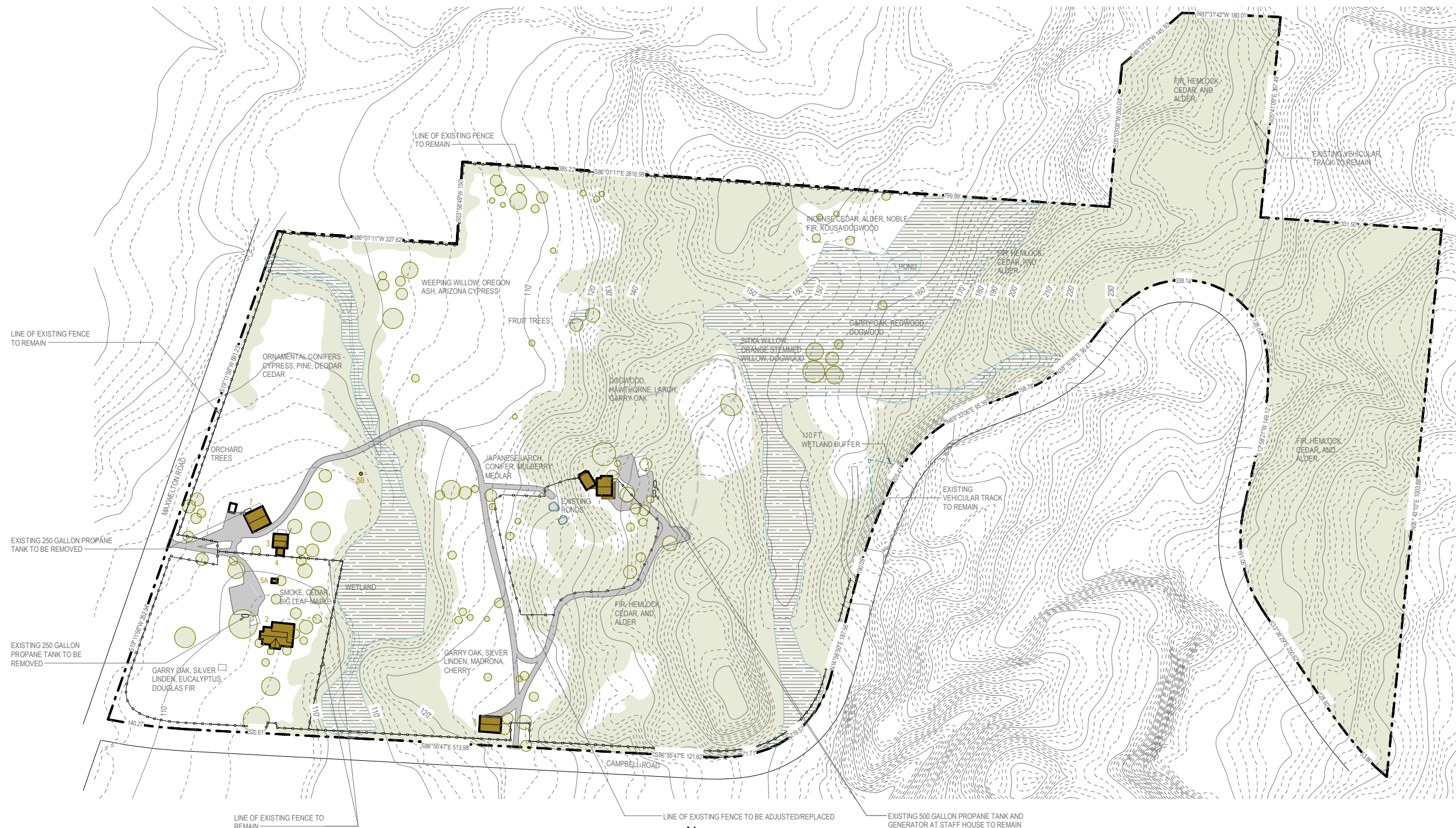
CHECKED BY: CK

SCALE: AS INDICATED

SHEET NO.:

A1.00

6/1/2025 2:05:36 PM



1 EXISTING CONDITIONS  
1" = 200'-0"

**EXISTING BUILDINGS:**

**GROSS SF**

1	MAIN STAFF HOUSE	1970 SF
2	FARMHOUSE	2400 SF
3	TOOL SHED	680 SF
4	POTTING SHED	200 SF
5a	WELLHOUSE (NON-POTABLE)	100 SF
5b	WELLHOUSE (POTABLE)	80 SF
6	TRACTOR SHED	1150 SF
7	BARN TO BE RELOCATED FOR FARM STORAGE/LAUNDRY	1050 SF

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT

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**PROJECT:**

**EMERGENCY INSTITUTE**

2302

3691 CAMPBELL ROAD &  
6253/6263 MAXWELTON ROAD

**DRAWING TITLE:**

**CRITICAL AREAS PLAN -  
WETLANDS**

**NOT FOR  
CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

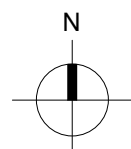
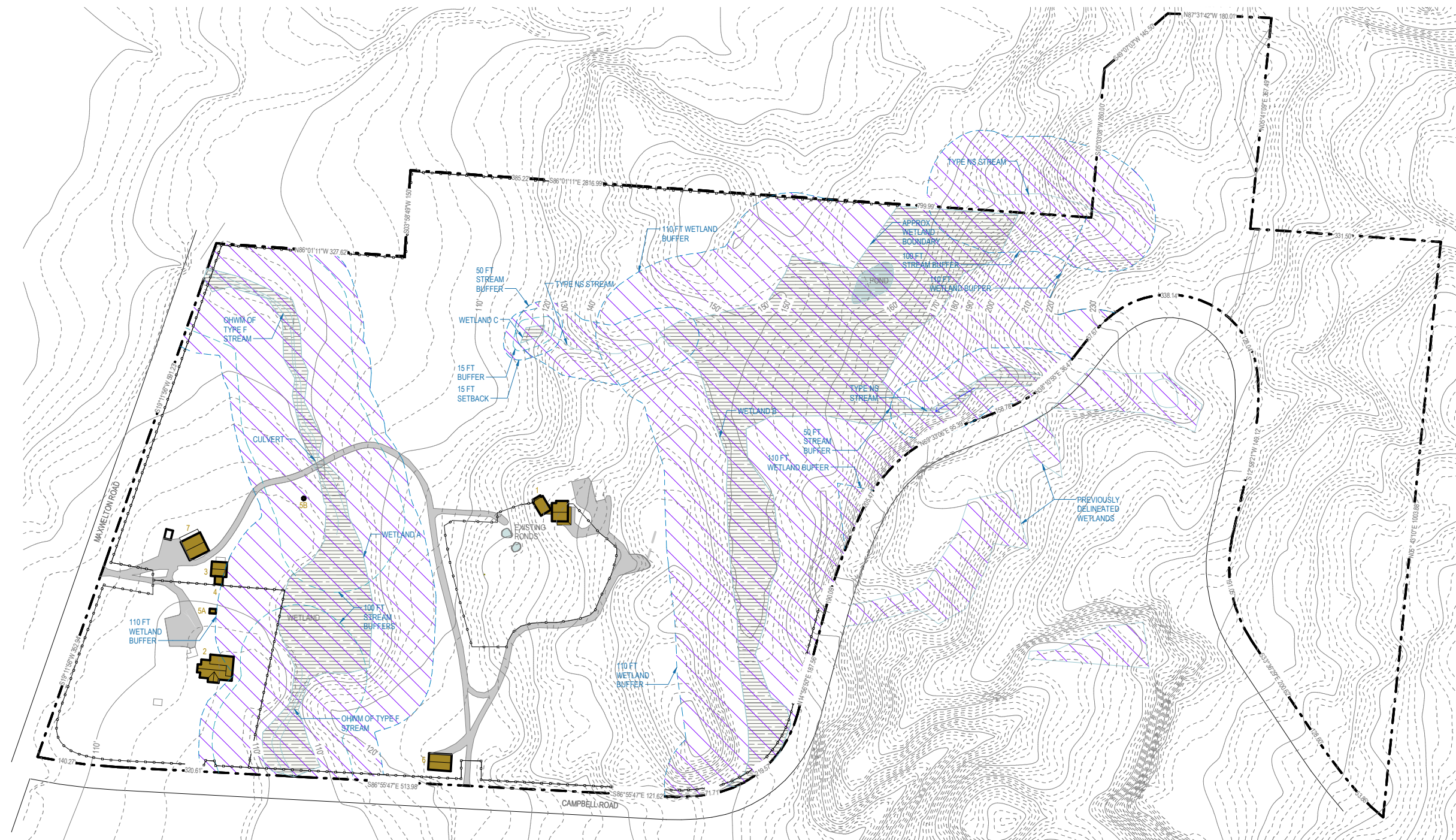
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SHEET NO.:

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**1** CRITICAL AREAS PLAN - WETLANDS  
1" = 200'-0"

A1.01

**EXISTING BUILDINGS:**

		GROSS SF
1	MAIN STAFF HOUSE	1970 SF
2	FARMHOUSE	2400 SF
3	TOOL SHED	680 SF
4	POTTING SHED	200 SF
5a	WELLHOUSE (NON-POTABLE)	100 SF
5b	WELLHOUSE (POTABLE)	80 SF
6	TRACTOR SHED	1150 SF
7	BARN TO BE RELOCATED FOR FARM STORAGE/LAUNDRY	1050 SF

**GENERAL NOTES:**

1. SEE GEOTECHNICAL, INFILTRATION AND CRITICAL AREAS REPORT AND HYDROGEOLOGY REPORT BY PANGE ENGINEERS, SEATTLE, WA FOR CRITICAL AQUIFER RECHARGE EVALUATION.

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT

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**DRAWING TITLE:**

**CRITICAL AREAS - CRITICAL  
AQUIFER RECHARGE**

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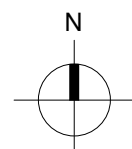
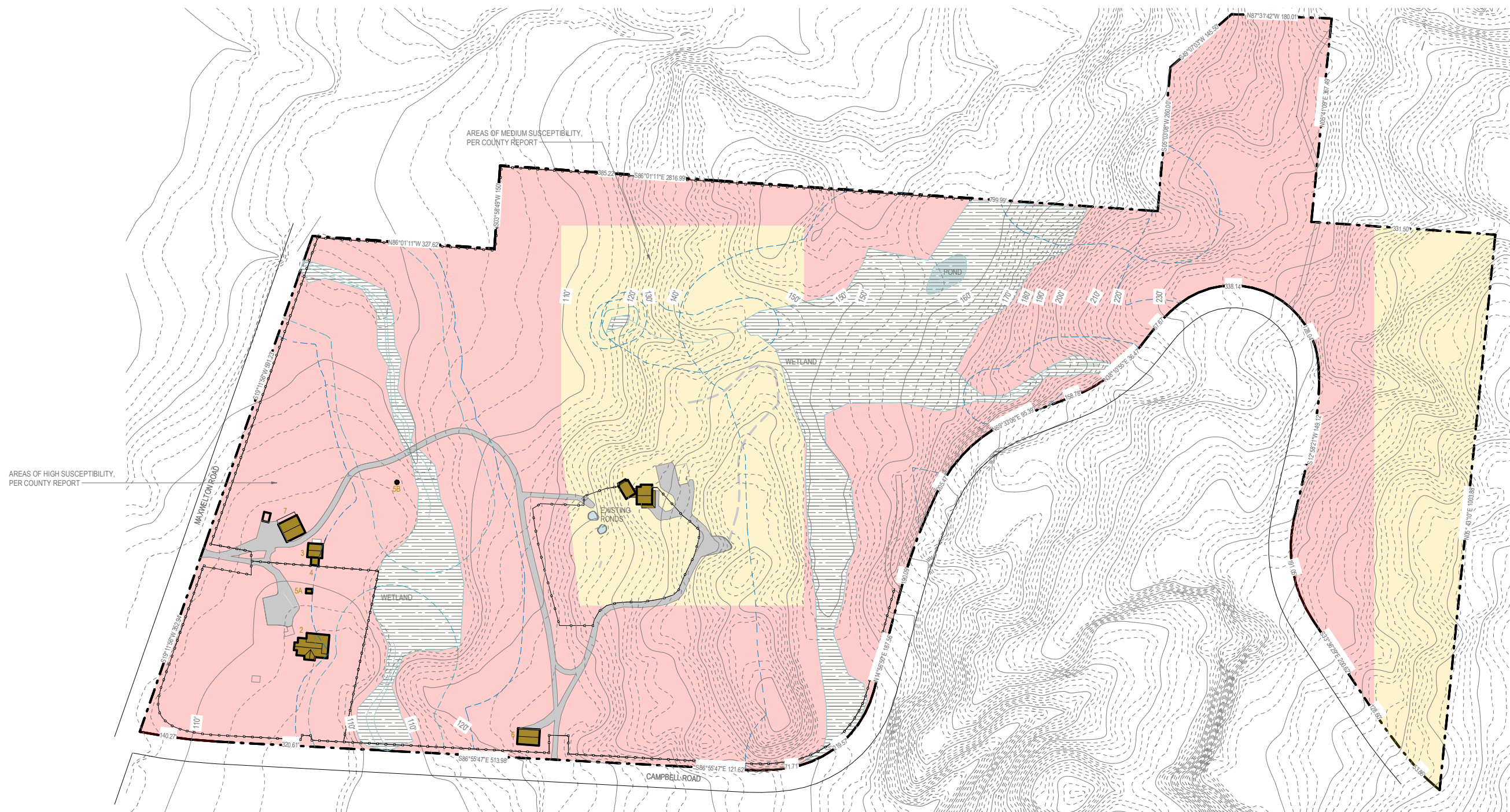
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A1.02

6/11/2025 2:06:22 PM



1

**CRITICAL AREAS PLAN - CRITICAL AQUIFER  
RECHARGE**  
1" = 200'-0"











**GENERAL NOTES:**

1. SEE A1.04 SITE PLAN FOR BUILDING KEY.
2. AT ALL PROPOSED BUILDING LOCATIONS, SLOPES HAVE BEEN CONFIRMED WITH TOPOGRAPHICAL SURVEY BY TYEE SURVEYORS AND DETERMINED TO BE < 40% AS SHOWN ON CIVIL DRAINAGE PLANS.
3. SEE GEOTECHNICAL, INFILTRATION AND CRITICAL AREAS REPORT BY PANGEO ENGINEERS, SEATTLE, WA FOR SLOPE EVALUATION.

**STEEP SLOPES:**

 SLOPES GREATER THAN 40%

**LEGEND:**

-  EXISTING BUILDING
-  PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
-  PROPOSED RETREAT CENTER CABINS
-  PROPOSED BATHHOUSES
-  PROPOSED STAFF BUILDINGS
-  EXISTING PRIVATE DRIVEWAY (GRAVEL)
-  PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
-  PROPOSED SOLAR ARRAYS
-  NEW AND EXISTING TRAILS
-  WATER COURSE
-  WATER SLOPE DIRECTION
-  TERRAIN SLOPE DIRECTION
-  EXISTING MEADOW/CLEARED AREA
-  FORESTED AREA
-  WETLAND, PER FACET NW REPORT

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**DRAWING TITLE:**

**STEEP SLOPES PLAN**

**NOT FOR  
CONSTRUCTION**

DATE: 06/03/2025

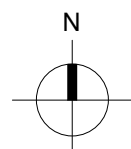
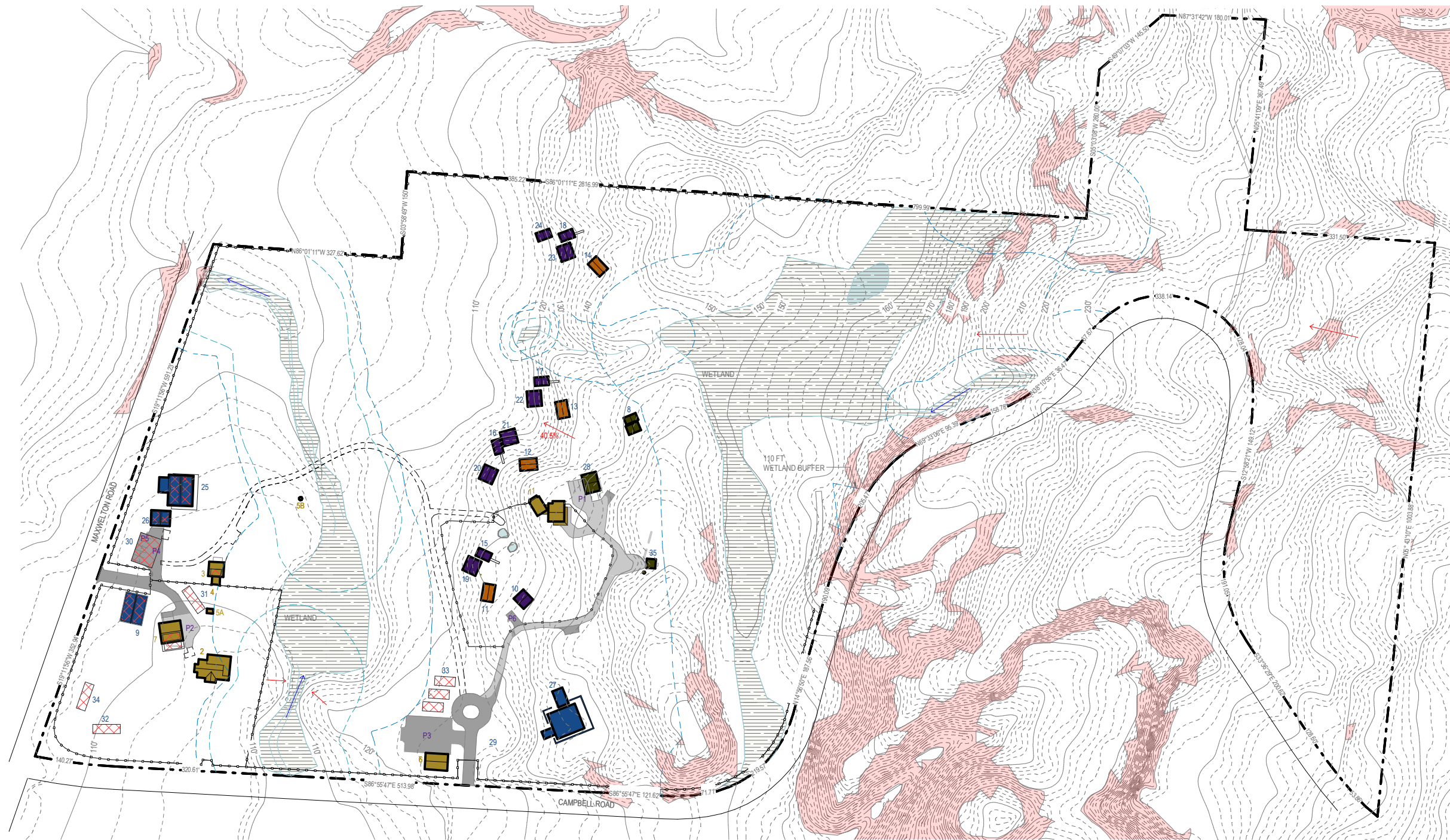
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SCALE: As indicated

SHEET NO.:



1 SITE PLAN - STEEP SLOPES  
1" = 200'-0"

**A1.03**

EXISTING BUILDINGS TO REMAIN:		
		APPROX GROSS SF
1	MAIN STAFF HOUSE	1970 SF
2	FARMHOUSE	2400 SF
3	TOOL SHED	680 SF
4	POTTING SHED	200 SF
5a	WELLHOUSE (NON-POTABLE)	100 SF
5b	WELLHOUSE (POTABLE)	80 SF
6	TRACTOR SHED	1150 SF
7	BARN TO BE RELOCATED FOR FARM STORAGE/LAUNDRY	1300 SF

**PARCEL LEGEND:**  
 PARCEL NO.  
 R32922-205-0620  
 PER BLA 326/24  
 RECORDED 12.30.2024

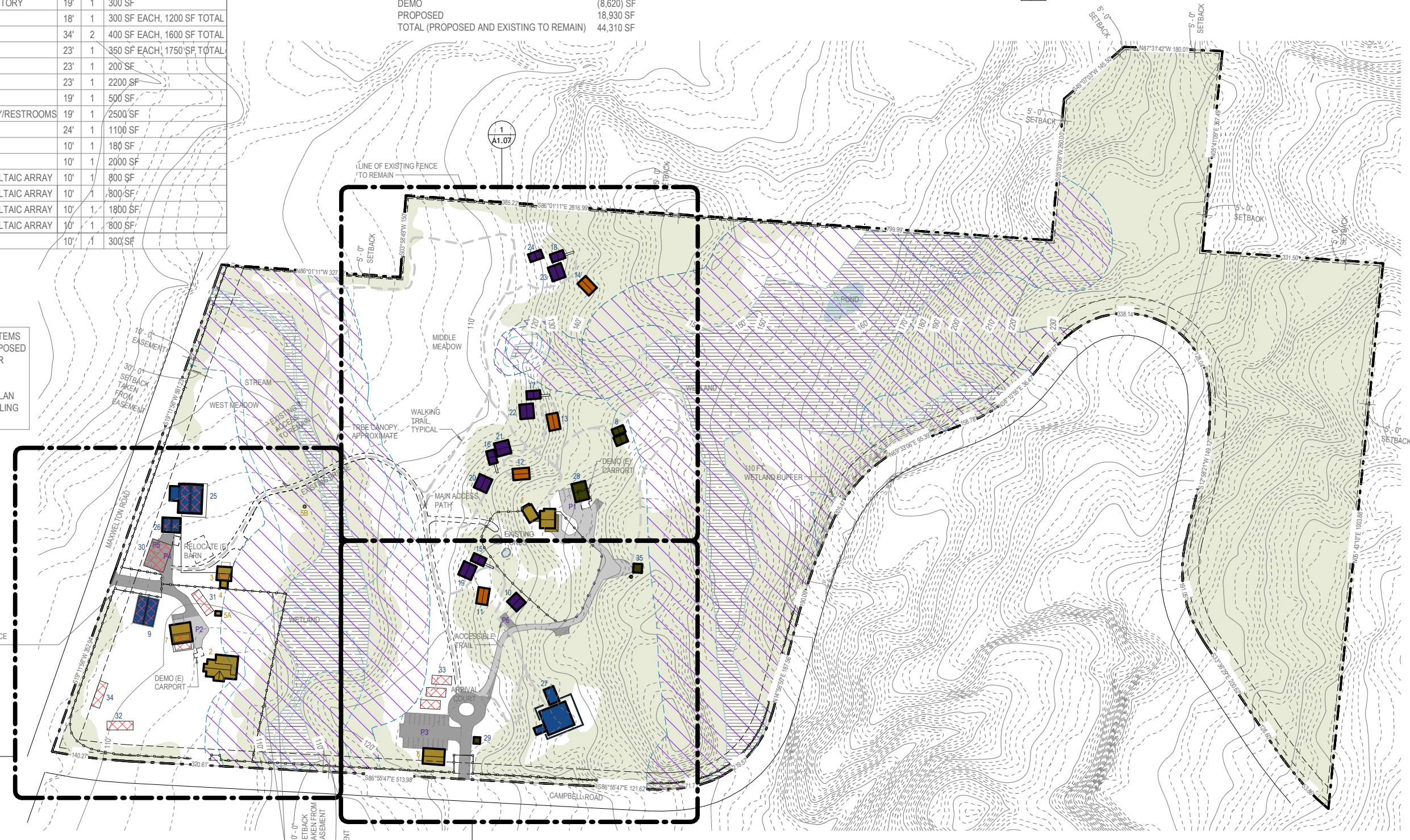
AREA CALCULATIONS:		
<b>LAND AREA</b>	40.77 ACRES	<b>IMPERVIOUS AREA (BUILDINGS AND ROADS)</b>
<b>BUILDING FOOTPRINT</b>		EXISTING 43,080 SF
EXISTING	9,080 SF	PROPOSED (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 38,130 SF
DEMO (1,450 SF)	(1,450 SF)	PROPOSED (INCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 44,330 SF
PROPOSED (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 19,200 SF	19,200 SF	TOTAL (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 71,140 SF
PROPOSED GROUND-MOUNT SOLAR ARRAYS (APPROXIMATE) 6,200 SF	6,200 SF	TOTAL (INCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 77,340 SF
<b>IMPERVIOUS AREA PERCENT COVERAGE</b>		
TOTAL (PROPOSED AND EXISTING TO REMAIN, EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 26,830 SF	26,830 SF	EXISTING 2.43%
EXISTING (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 2.15%		PROPOSED (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 2.50%
PROPOSED (INCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 4.01%		TOTAL (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 4.36%
<b>ROAD AND PARKING SURFACES</b>		
EXISTING 34,000 SF	34,000 SF	<b>BUILDING COVERAGE OF GROSS SITE AREA</b>
DEMO (8,620 SF)	(8,620 SF)	EXISTING (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 2.56%
PROPOSED 18,930 SF	18,930 SF	PROPOSED (INCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 2.15%
TOTAL (PROPOSED AND EXISTING TO REMAIN) 44,310 SF	44,310 SF	TOTAL (EXCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 4.01%
		TOTAL (INCLUDES FREESTANDING GROUND-MOUNT SOLAR ARRAYS) 4.36%

LEGEND:	
	EXISTING BUILDING
	PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
	PROPOSED RETREAT CENTER CABINS
	PROPOSED BATHHOUSES
	PROPOSED STAFF BUILDINGS
	EXISTING PRIVATE DRIVEWAY (GRAVEL)
	PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
	PROPOSED SOLAR ARRAYS
	NEW AND EXISTING TRAILS
	WATER COURSE
	WATER SLOPE DIRECTION
	TERRAIN SLOPE DIRECTION
	EXISTING MEADOW/CLEARED AREA
	FORESTED AREA
	WETLAND, PER FACET NW REPORT

PROPOSED BUILDINGS:				
	APPROX HEIGHT	STORIES	APPROX GROSS SF	
8	LA MASETA STAFF HOUSE	30'	2	750 SF
9	FARM CARPORT	25'	1	2500 SF
10	ADA CABIN - 1 BED, 1 BATH, 1 STORY	19'	1	300 SF
11-14	CABIN BATHHOUSE	18'	1	300 SF EACH, 1200 SF TOTAL
15-18	DUPLEX CABIN - 2 BED, 0 BATH	34'	2	400 SF EACH, 1600 SF TOTAL
19-23	DUPLEX CABIN - 2 BED, 0 BATH	23'	1	350 SF EACH, 1750 SF TOTAL
24	SOLO CABIN - 1 BED, 0 BATH	23'	1	200 SF
25	DINING HALL/KITCHEN	23'	1	2200 SF
26	DINING RESTROOMS	19'	1	500 SF
27	GATHERING BUILDING/LIBRARY/RESTROOMS	19'	1	2500 SF
28	STORAGE/CARETAKER LOFT	24'	1	1100 SF
29	ARRIVAL KIOSK	10'	1	180 SF
30	PHOTOVOLTAIC CARPORT	10'	1	2000 SF
31	GROUND-MOUNTED PHOTOVOLTAIC ARRAY	10'	1	800 SF
32	GROUND-MOUNTED PHOTOVOLTAIC ARRAY	10'	1	800 SF
33	GROUND-MOUNTED PHOTOVOLTAIC ARRAY	10'	1	1800 SF
34	GROUND-MOUNTED PHOTOVOLTAIC ARRAY	10'	1	800 SF
35	PUMPHOUSE	10'	1	300 SF

**GENERAL NOTES:**

- NO STAGES, PUBLIC ADDRESS SYSTEMS OR BUILT-IN SOUND SYSTEMS PROPOSED AT RETREAT CENTER BUILDINGS OR OUTDOOR AREAS.
- SEE SOLID WASTE MANAGEMENT PLAN FOR LOCATIONS OF TRASH, RECYCLING AND COMPOST.



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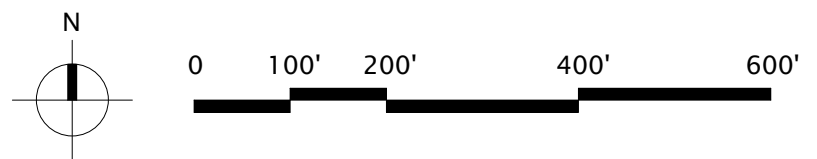
PROJECT:  
**EMERGENGE INSTITUTE**  
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 3691 CAMPBELL ROAD &  
 6253/6263 MAXWELTON ROAD

DRAWING TITLE:  
**SITE PLAN**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025  
 ISSUED FOR: SITE PLAN REVIEW  
 DRAWN BY: CE/VB  
 CHECKED BY: CK  
 SCALE: AS INDICATED  
 SHEET NO.:

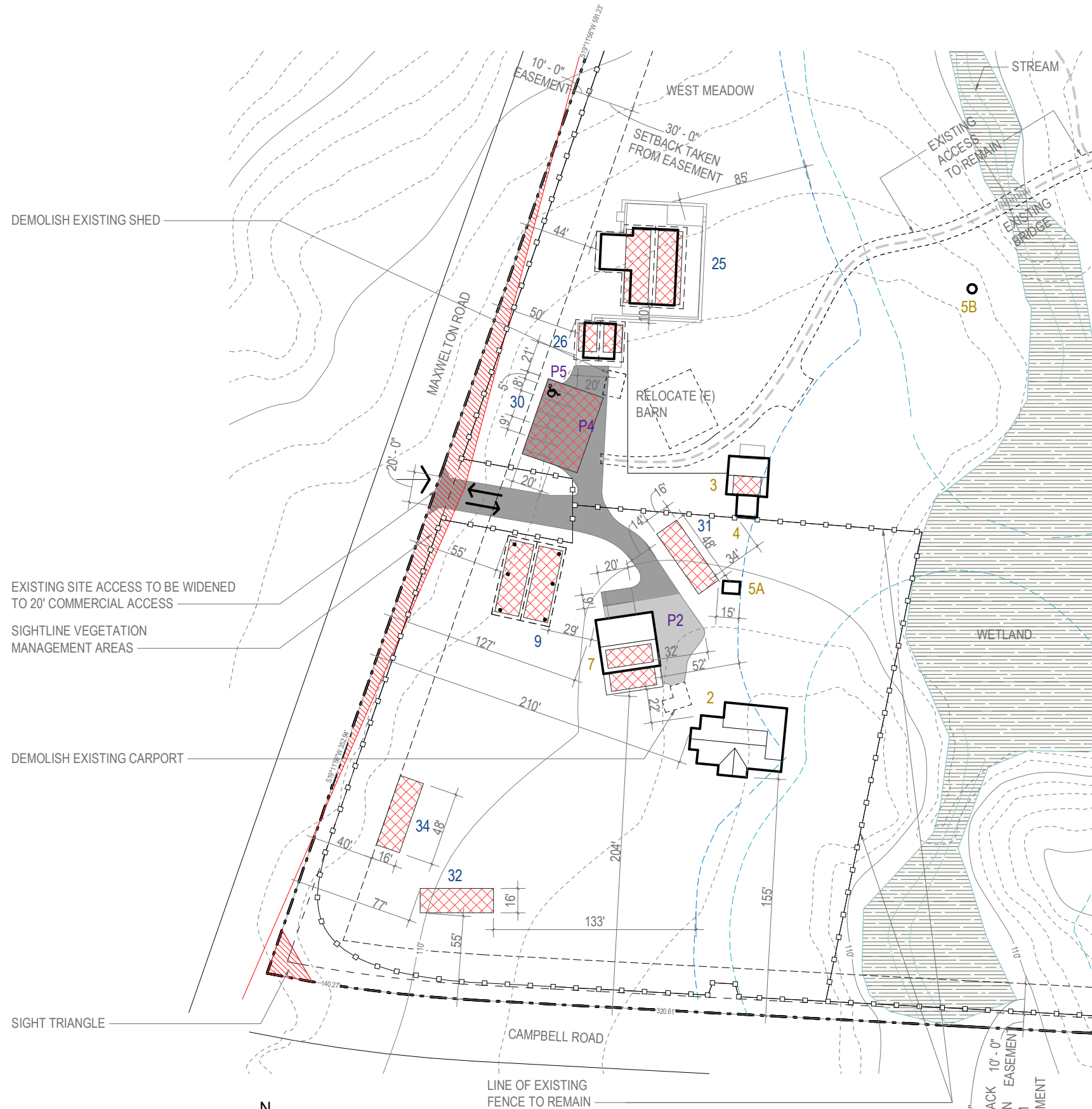
**A1.04**



1 SITE PLAN  
 1" = 200'-0"

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
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- WATER COURSE
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- FORESTED AREA
- WETLAND, PER FACET NW REPORT



**1 SITE PLAN**  
1" = 80'-0"

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PROJECT:  
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DRAWING TITLE:  
**DIMENSION PLANS**

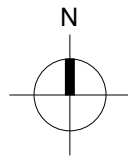
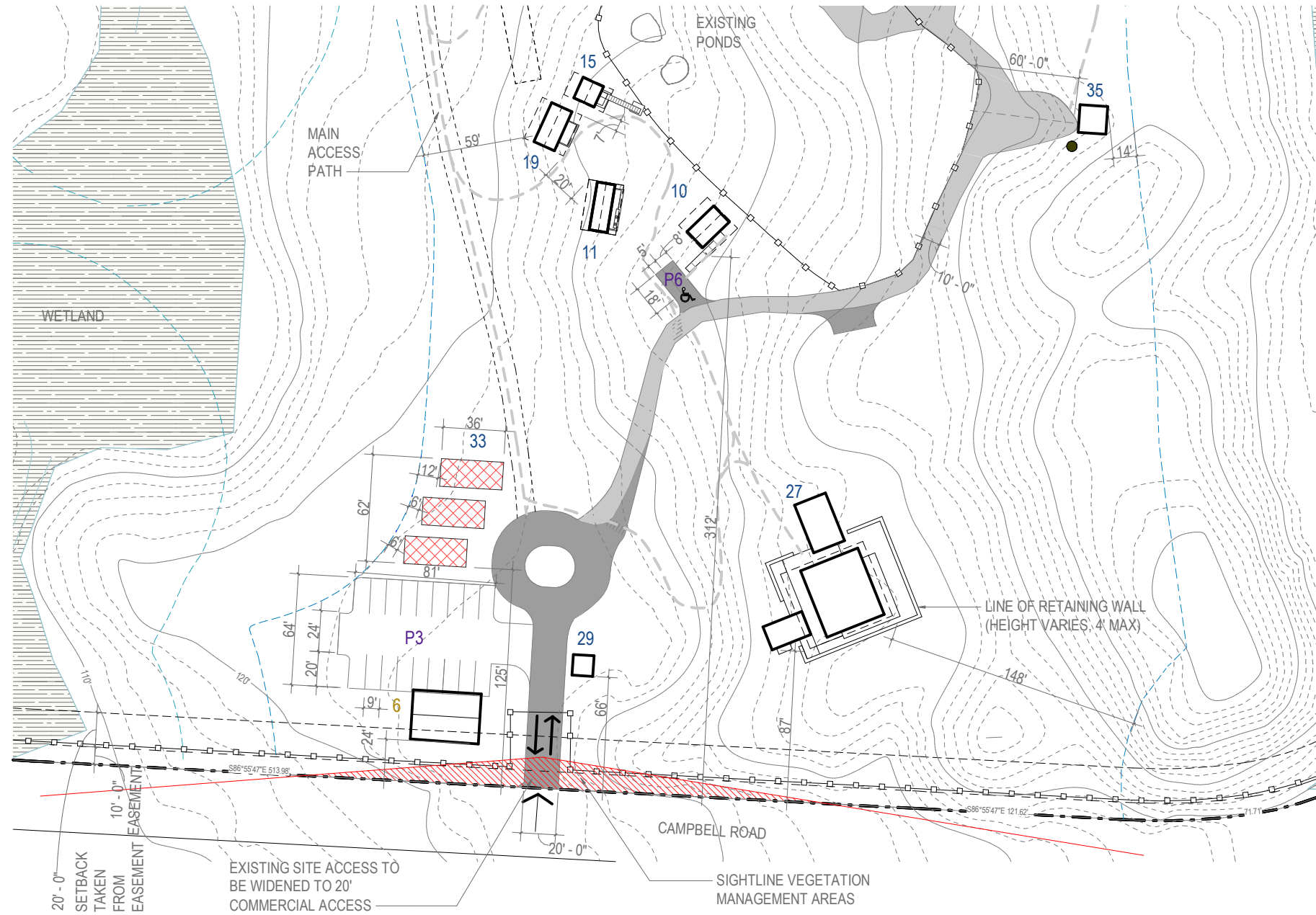
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SCALE:	As indicated
SHEET NO.:	

# A1.05

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT



**1** SITE PLAN  
1" = 80'-0"

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**DRAWING TITLE:**

**DIMENSION PLANS**

**NOT FOR  
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DATE: 06/03/2025

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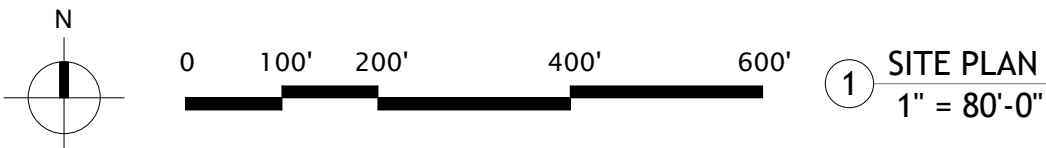
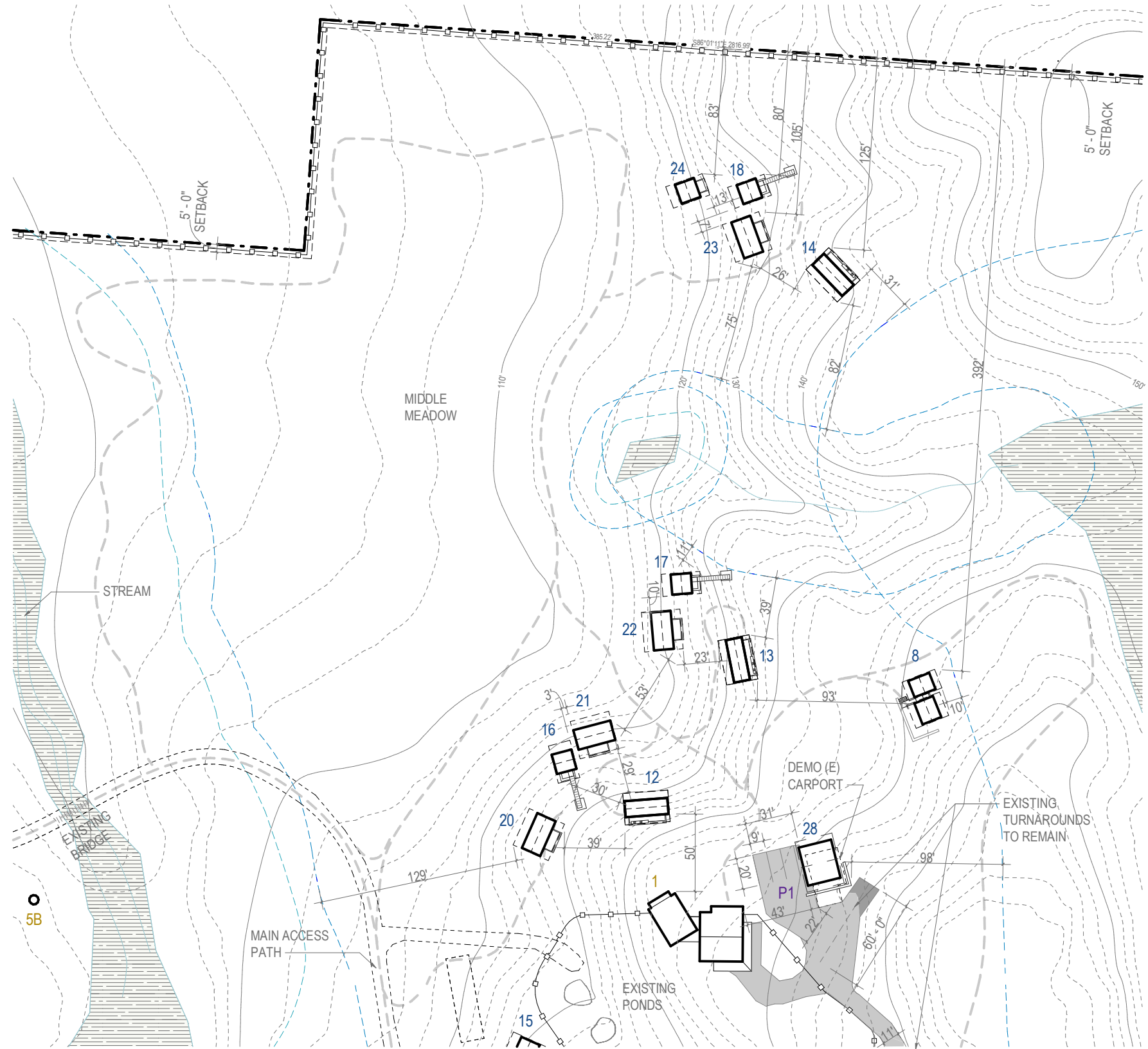
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**A1.06**

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
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- EXISTING MEADOW/CLEARED AREA
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DRAWING TITLE:  
**DIMENSION PLANS**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025  
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





**PARKING:** (ALL SPACES SHOWN AS 9' X 18')

- P1** 3 SPACES FOR RESIDENCES
- P2** 2 SPACES FOR RESIDENCES
- P3** 18 SPACES FOR CABIN GUESTS/GATHERING BUILDING
- P4** 4 SPACES FOR KITCHEN & CABIN GUESTS
- P5** 1 SPACE FOR KITCHEN (ADA SPACE)
- P6** 1 SPACE FOR ACCESSIBLE TRAIL (ADA SPACE)

**GENERAL NOTES:**

1. PROPOSED ROAD IMPROVEMENTS WILL BE BUILT TO ISLAND COUNTY ROAD DEPARTMENT SPECIFICATIONS FOR PRIVATE ROADS.
2. ISLAND COUNTY HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE ROADS CONTAINED WITHIN, OR PRIVATE ROADS PROVIDING ACCESS TO, THE PROPERTY DESCRIBED IN THIS DEVELOPMENT.
3. AREAS WHERE TRAILS EXIST ARE USED AS OUTDOOR CLASSROOMS FOR ENVIRONMENTAL EDUCATION AND NATURE OBSERVATION.
4. ALSO SEE A1.05-1.07 DIMENSION PLANS FOR LANE WIDTHS AND PARKING LOT LAYOUTS.
5. SEE CIVIL TESC FOR TEMPORARY CONSTRUCTION ACCESS ROADS. EXISTING DIRT/GRAVEL ROAD AND EXISTING BRIDGE TO REMAIN AFTER CONSTRUCTION AS WALKING PATHS.

**LEGEND:**

- |  |  |
|--|--|
|  EXISTING BUILDING                                      |  NEW AND EXISTING TRAILS        |
|  PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS        |  WATER COURSE                 |
|  PROPOSED RETREAT CENTER CABINS                       |  WATER SLOPE DIRECTION        |
|  PROPOSED BATHHOUSES                                  |  TERRAIN SLOPE DIRECTION      |
|  PROPOSED STAFF BUILDINGS                             |  EXISTING MEADOW/CLEARED AREA |
|  EXISTING PRIVATE DRIVEWAY (GRAVEL)                   |  FORESTED AREA                |
|  PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL) |  WETLAND, PER FACET NW REPORT |
|  PROPOSED SOLAR ARRAYS                                |  |

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**DRAWING TITLE:**

**SITE CIRCULATION PLAN**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

DRAWN BY: CE/VB

CHECKED BY: CK

SCALE: As indicated

SHEET NO.:

**A1.08**



EXISTING ACCESS PERMIT NO. 2024-0212 TO BE WIDENED TO 20' COMMERCIAL ACCESS. SEE DIMENSION PLANS FOR SIGHTLINE MANAGEMENT ZONES

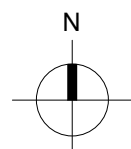
20'-0" SETBACK TAKEN FROM EASEMENT

EXISTING ACCESS PERMIT NO. A18214C TO BE WIDENED TO 20' COMMERCIAL ACCESS  
SEE DIMENSION PLANS FOR SIGHTLINE MANAGEMENT ZONES

PROPOSED CRUSHED GRANITE ADA TRAIL FROM GATHERING BUILDING TO ADA CABIN TO DINING, MAX SLOPE 1:20

EXISTING TURNAROUNDS TO REMAIN, SEE DIMENSION PLANS

EXISTING DIRT/GRAVEL ROADS TO REMAIN



**1** SITE CIRCULATION PLAN  
1" = 200'-0"

**GENERAL NOTES:**

1. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
2. SEE A1.04 SITE PLAN FOR BUILDING KEY.

**SITE UTILITIES:**

- E POWER TRANSFORMER
- W— BURIED WATER LINE
- E— BURIED POWER LINE
- E— EXISTING OVERHEAD POWER LINE
- LV— BURIED LOW VOLTAGE LINE
- S— BURIED SEPTIC
- GEOTHERMAL WELL (APPROX)
- BURIED GEOTHERMAL LINE

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- ← WATER SLOPE DIRECTION
- ← TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT

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**EMERGENCE INSTITUTE**

2302

3691 CAMPBELL ROAD &  
6253/6263 MAXWELTON ROAD

DRAWING TITLE:

**SITE UTILITIES PLAN**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

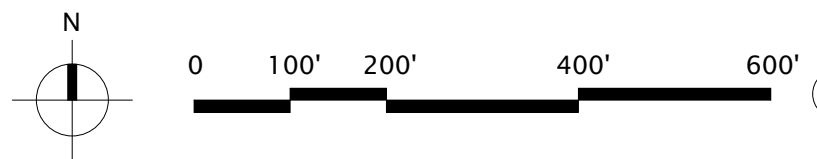
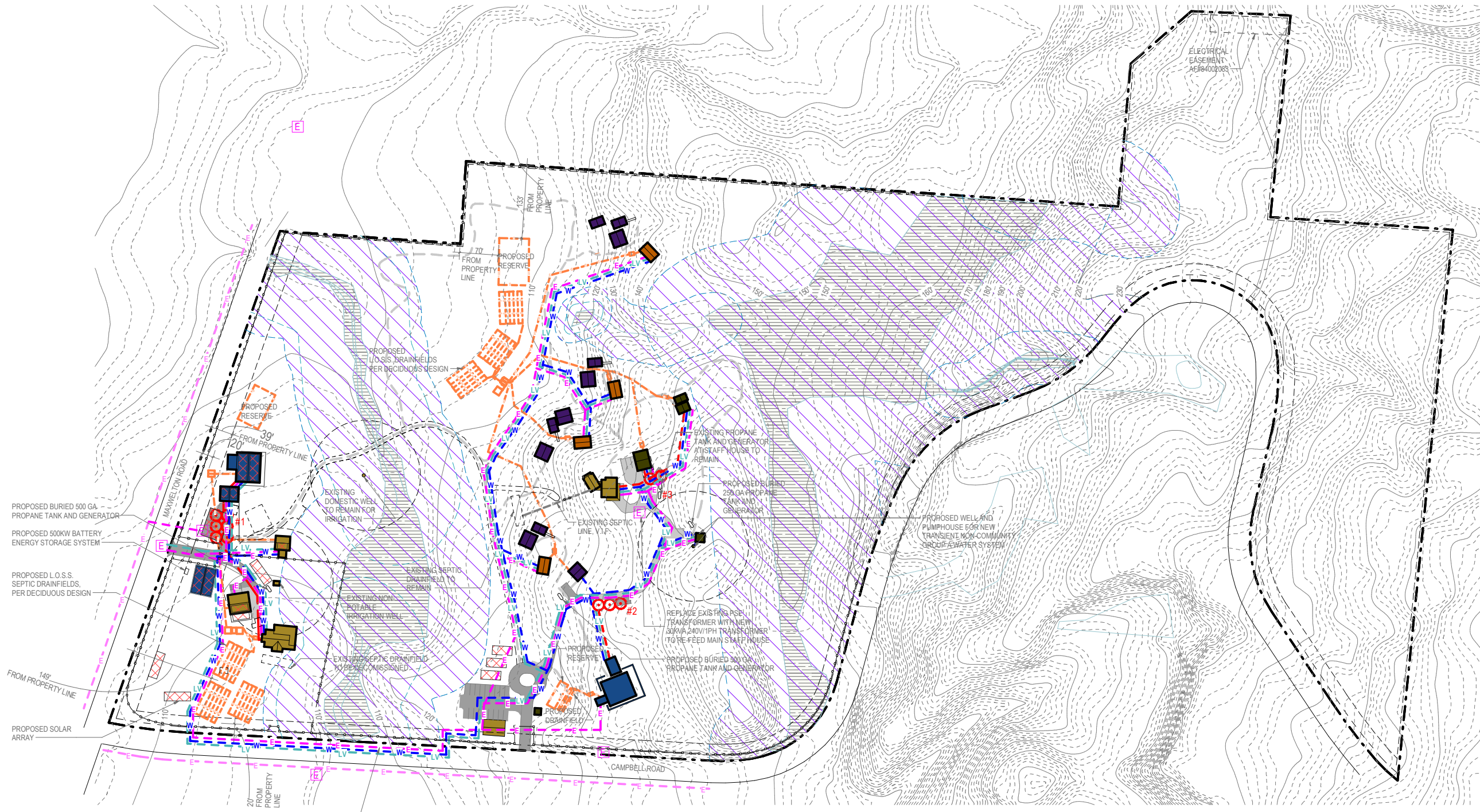
DRAWN BY: CE/VB

CHECKED BY: CK

SCALE: AS INDICATED

SHEET NO.:

**A1.09**



**1 SITE UTILITIES PLAN**  
1" = 200'-0"

6/3/2025 7:16:13 AM

PROPOSED BURIED POWER LINE AND WATER LINE <500' IN RIGHT-OF-WAY DOES NOT REQUIRE FRANCHISE PERMIT

**GENERAL NOTES:**

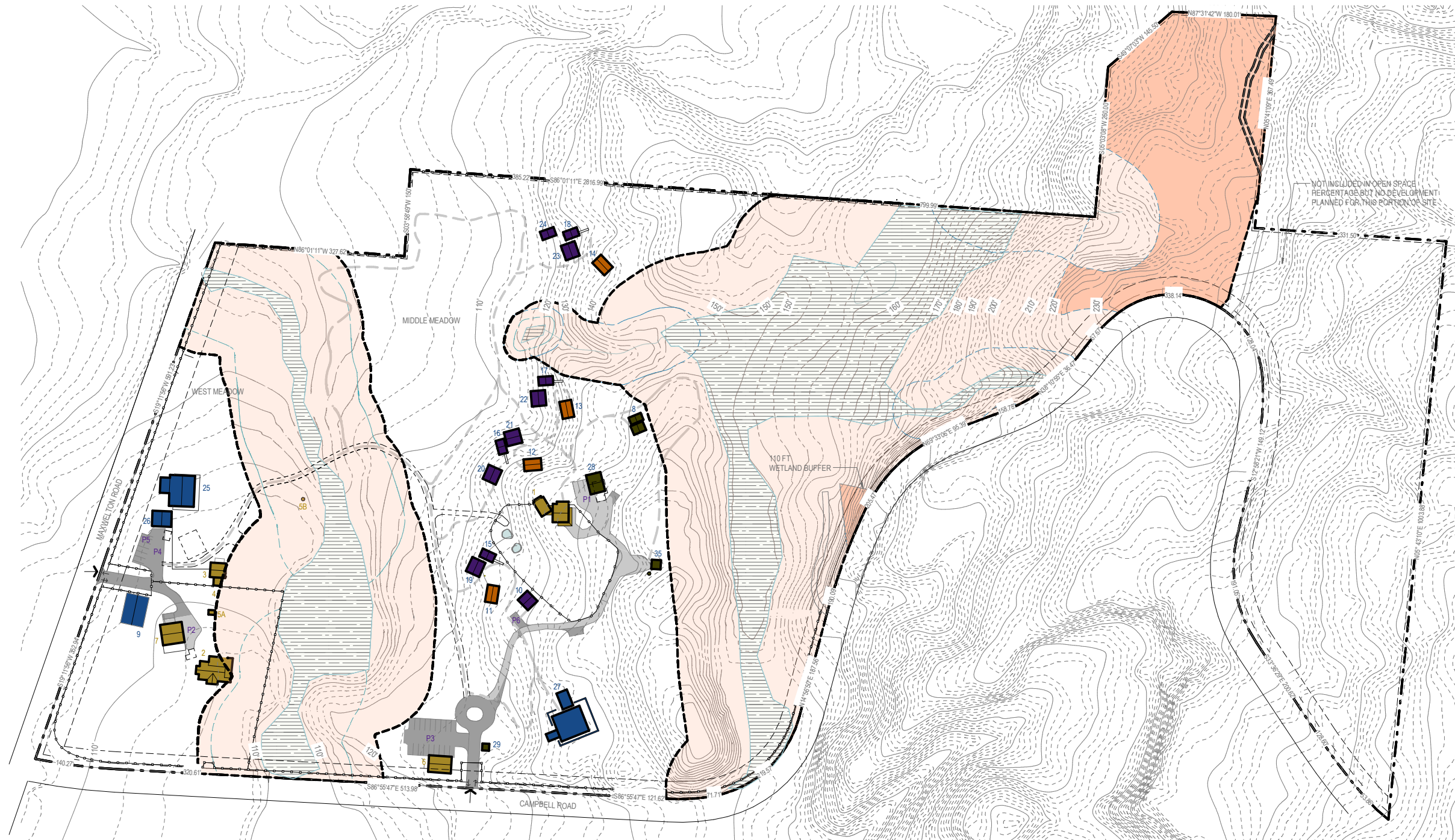
1. OPEN SPACE HATCHED AREA SHOWN REPRESENTS 50% OF SITE AREA.

**OPEN SPACE:**

- OPEN SPACES THAT ARE CRITICAL AREAS (WETLANDS, STREAMS, BUFFERS, INCLUDING EXISTING FOOT TRAILS - NOT OPEN TO THE PUBLIC)
- OPEN SPACES THAT ARE NOT CRITICAL AREAS (NOT OPEN TO THE PUBLIC)
- AREAS SHOWN WITHOUT TONE INCLUDE EXISTING AND PROPOSED DEVELOPED AREAS (BUILDINGS, PARKING, DRIVEWAYS, DRAINAGE, FARMING, SOLAR ARRAYS, SEPTIC DRAINFIELDS) AND SOME AREAS WITH NO PROPOSED DEVELOPMENT (MEADOWS AND FORESTLANDS) WITH EXISTING FOOT TRAILS (NOT OPEN TO THE PUBLIC)

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
- NEW AND EXISTING TRAILS
- WATER COURSE
- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT



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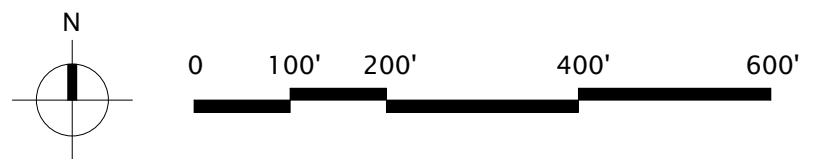
PROJECT:  
**EMERGENCY INSTITUTE**  
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6253/6263 MAXWELTON ROAD

DRAWING TITLE:  
**OPEN SPACE PLAN**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025  
ISSUED FOR: SITE PLAN REVIEW  
DRAWN BY: CE/VB  
CHECKED BY: CK  
SCALE: AS INDICATED  
SHEET NO.:

**A1.10**



1 OPEN SPACE PLAN  
1" = 200'-0"

**GENERAL NOTES:**

1. SEE EXISTING CONDITIONS PLAN FOR NOTES RELATED TO EXISTING LANDSCAPING TO REMAIN.
2. EXISTING TOPSOIL AND NATIVE UNDERSTORY PLANTS (SALAL, SWORD FERN, EVERGREEN HUCKLEBERRY, MAHONIA) IN CONSTRUCTION AREAS TO BE STOCKPILED AND REPLACED AS MUCH AS FEASIBLE POST-CONSTRUCTION.
3. EXISTING ABOVE-GROUND IRRIGATION PIPING TO REMAIN FOR ESTABLISHMENT OF NEW PLANTINGS POST-CONSTRUCTION.
4. HOSE BIBS AND YARD HYDRANTS TO BE PROVIDED AT BUILDING CLUSTERS FOR ESTABLISHMENT OF NEW PLANTINGS POST-CONSTRUCTION.
5. CONSTRUCTION ZONES TO BE TIGHTLY CONTROLLED TO PRESERVE EXISTING VEGETATION. SEE CIVIL TESC PLANS FOR BMP'S.

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
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DRAWING TITLE:  
**LANDSCAPE PLAN**

**NOT FOR CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

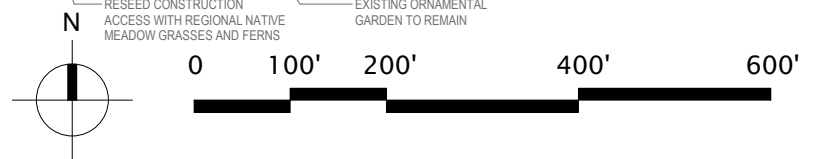
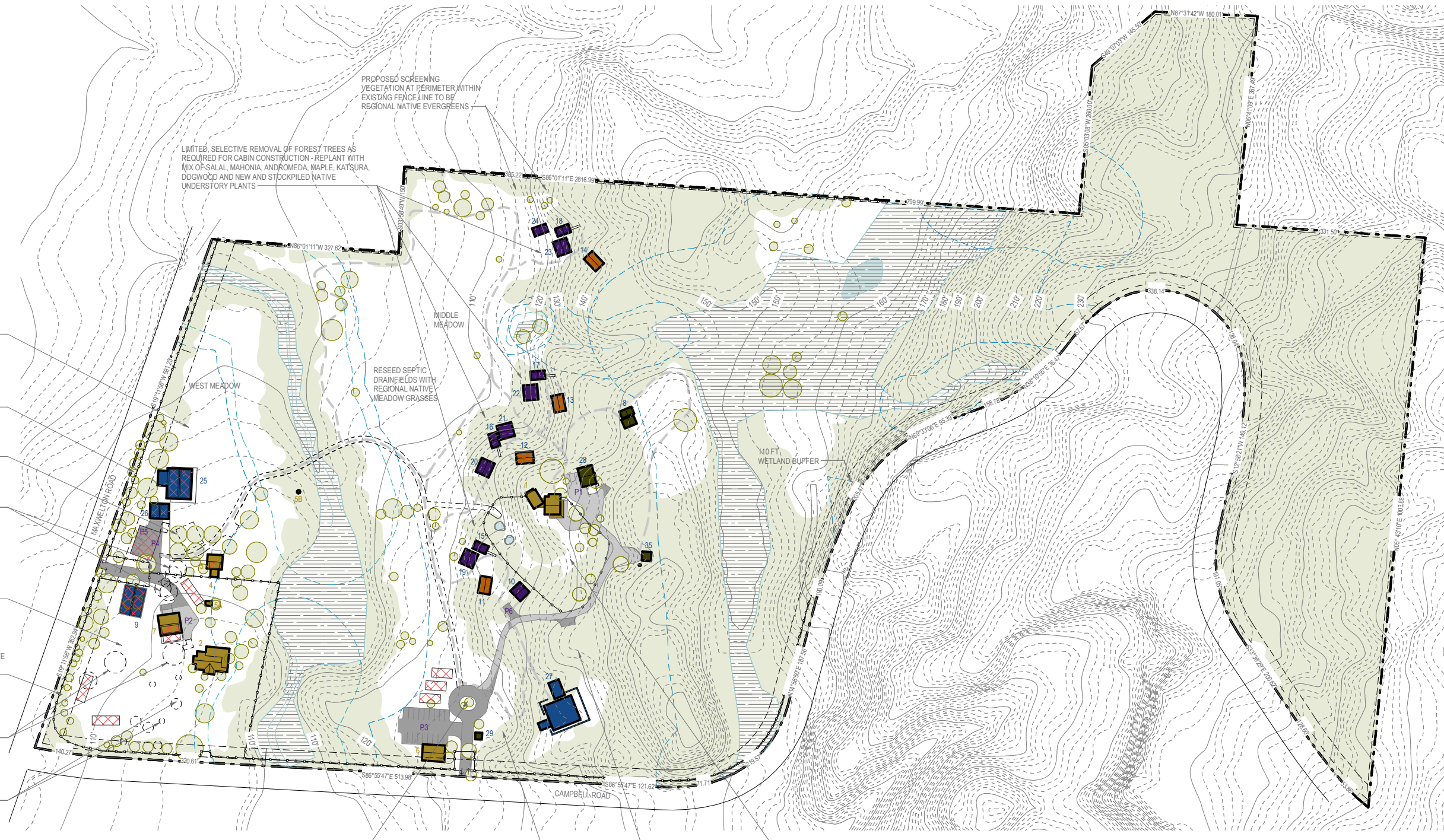
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SCALE: As indicated

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6/11/2025 2:07:23 PM



**1 LANDSCAPE PLAN**  
1" = 200'-0"

**A1.11**

**GENERAL NOTES:**

1. BUILDINGS TO HAVE EXTERIOR BUILDING-MOUNTED LIGHTS AT EGRESS DOORS AS REQUIRED BY CODE. PARKING LOTS TO BE LIT BY BUILDING-MOUNTED LIGHTS, NO STAND-ALONE PARKING LIGHTING PROPOSED.

**LEGEND:**

- EXISTING BUILDING
- PROPOSED RETREAT CENTER EDUCATIONAL BUILDINGS
- PROPOSED RETREAT CENTER CABINS
- PROPOSED BATHHOUSES
- PROPOSED STAFF BUILDINGS
- EXISTING PRIVATE DRIVEWAY (GRAVEL)
- PROPOSED PRIVATE DRIVEWAY AND PARKING AREAS (GRAVEL)
- PROPOSED SOLAR ARRAYS
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- WATER SLOPE DIRECTION
- TERRAIN SLOPE DIRECTION
- EXISTING MEADOW/CLEARED AREA
- FORESTED AREA
- WETLAND, PER FACET NW REPORT

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PROJECT:

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DRAWING TITLE:

**LIGHTING/SIGNAGE PLAN**

**NOT FOR  
CONSTRUCTION**

DATE: 06/03/2025

ISSUED FOR: SITE PLAN REVIEW

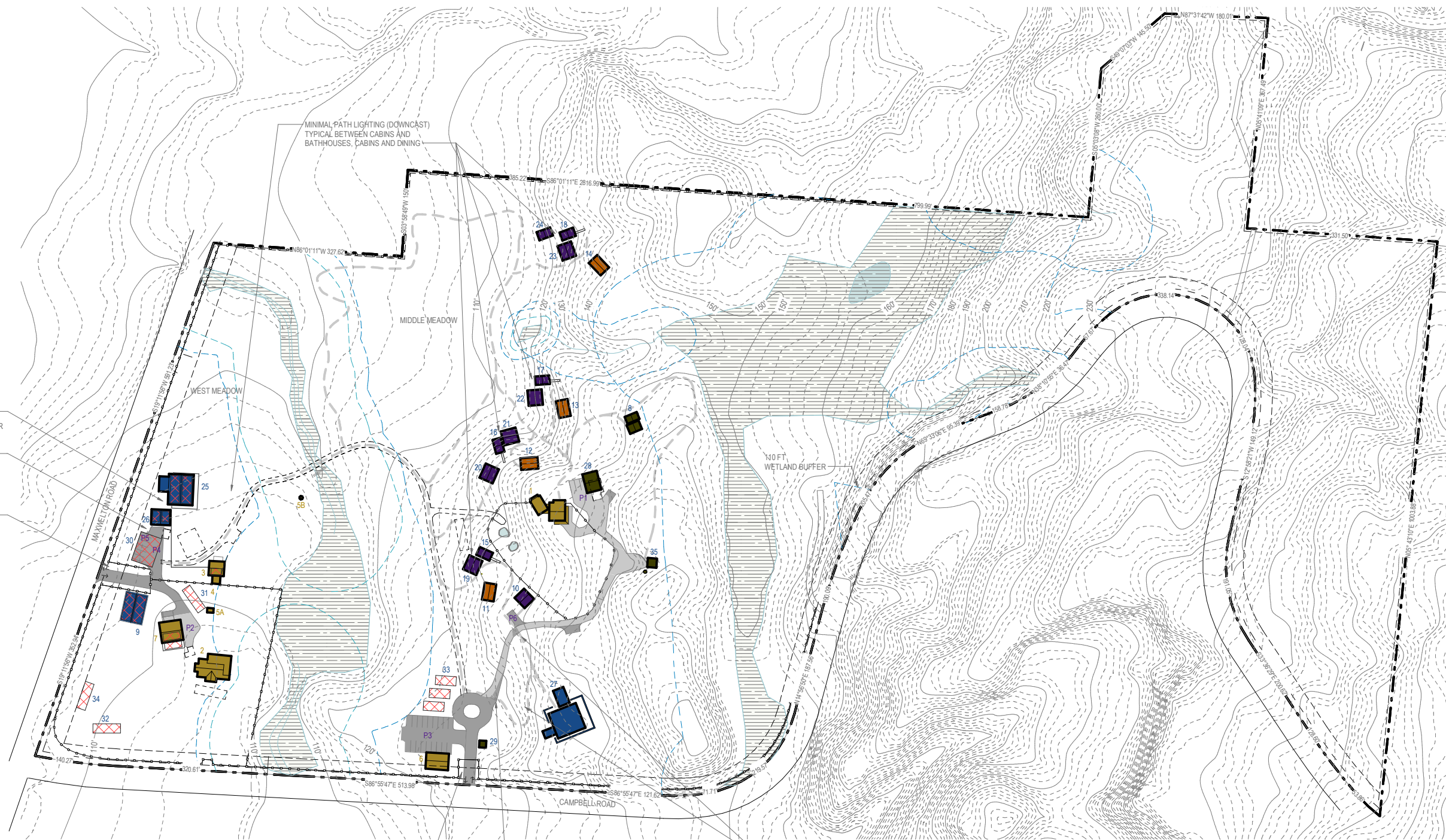
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SCALE: As indicated

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WOOD AND METAL "EMERGENE INSTITUTE" SIGN WITH DOWNWARD, SHIELDED ILLUMINATION, 9 SF MAX PER ICC 17.03.180R - APPLICANT WILL SUBMIT BUILDING PERMIT FOR FINAL SIGN DESIGN

WOOD AND METAL WAYFINDING SIGNAGE PER ICC 17.03.180R, 2SF MAX, TYPICAL AT MAJOR TRAIL INTERSECTIONS THROUGHOUT SITE (NO LIGHTING AT WAYFINDING SIGNS)



DISCRETE PATH LIGHTING (DOWNCAST) TYPICAL BETWEEN GATHERING BUILDING AND PARKING AREA, GATHERING BUILDING AND CABINS AND TYPICAL ALONG ADA PATH BETWEEN GATHERING AND DINING BUILDINGS

**1 LIGHTING/SIGNAGE PLAN**  
1" = 200'-0"

A1.12

**EXISTING BUILDINGS TO REMAIN:**

1	MAIN STAFF HOUSE
2	FARMHOUSE
3	TOOL SHED
4	POTTING SHED
5a	WELLHOUSE (NON-POTABLE)
5b	WELLHOUSE (POTABLE)
6	TRACTOR SHED
7	BARN TO BE RELOCATED FOR FARM STORAGE/LAUNDRY

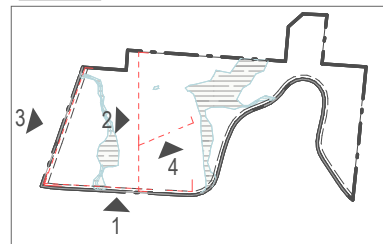
**GENERAL NOTES:**

- BUILDINGS ARE DESIGNED TO BE SIMILAR IN HEIGHT, SIZE, PLACEMENT, STYLE, MATERIALS, COLOR, AND DESIGN TO RESIDENTIAL OR AGRICULTURAL STRUCTURES.
- PLANNED EXTERIOR MATERIALS FOR PROPOSED BUILDINGS ARE NEUTRAL STAINED OR UNSTAINED WOOD, NATURAL STONE MASONRY AND GRAY METAL ROOFING.

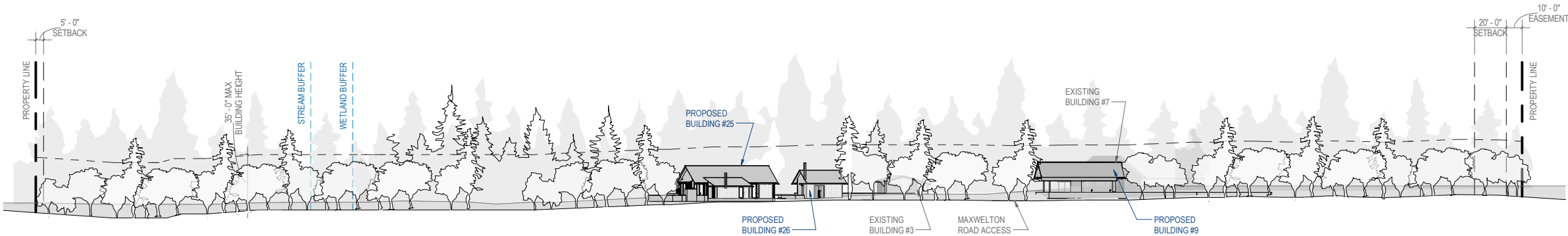
**PROPOSED BUILDINGS:**

8	LA MASETA STAFF HOUSE
9	FARM CARPORT
10	ADA CABIN - 1 BED, 1 BATH, 1 STORY
11-14	CABIN BATHHOUSE
15-18	DUPLEX CABIN - 2 BED, 0 BATH
19-23	DUPLEX CABIN - 2 BED, 0 BATH
24	SOLO CABIN - 1 BED, 0 BATH
25	DINING HALL/KITCHEN
26	DINING RESTROOMS
27	GATHERING BUILDING/LIBRARY/RESTROOMS
28	STORAGE/CARETAKER LOFT
29	ARRIVAL KIOSK
30	PHOTOVOLTAIC CARPORT
31	GROUND-MOUNTED PHOTOVOLTAIC ARRAY
32	GROUND-MOUNTED PHOTOVOLTAIC ARRAY
33	GROUND-MOUNTED PHOTOVOLTAIC ARRAY
34	GROUND-MOUNTED PHOTOVOLTAIC ARRAY
35	PUMPHOUSE

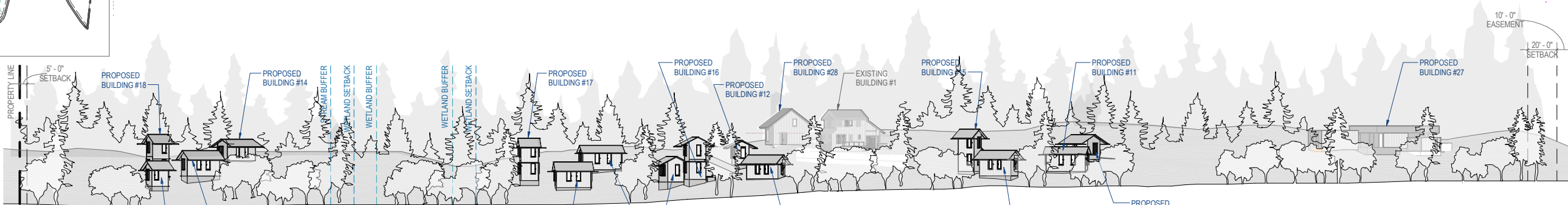
**KEY PLAN:**



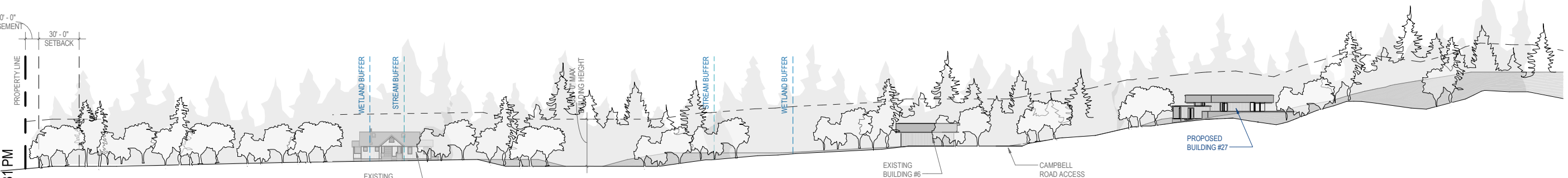
**4 SITE ELEVATION**  
1" = 80'-0"



**3 SITE ELEVATION**  
1" = 80'-0"



**2 SITE ELEVATION**  
1" = 80'-0"



**1 SITE ELEVATION**  
1" = 80'-0"



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DRAWING TITLE:  
**SITE ELEVATIONS**

**NOT FOR CONSTRUCTION**

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**A1.13**

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DRAWING TITLE:  
**OVERALL TESC PLAN**

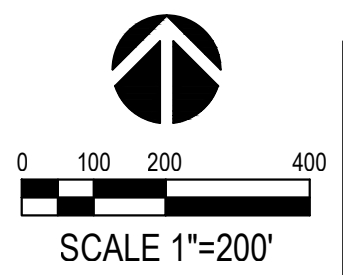
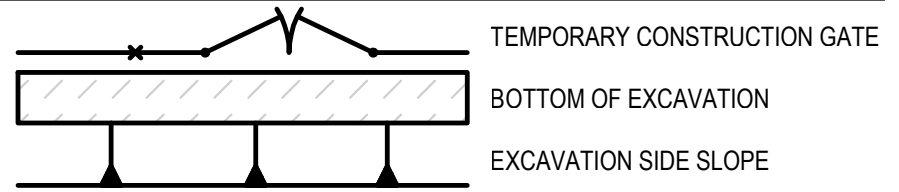
**NOT FOR  
 CONSTRUCTION**

DATE: 06/03/2025  
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 DRAWN BY: KNL  
 CHECKED BY: BSB  
 SCALE: AS INDICATED  
 SHEET NO.:

**C1.00**

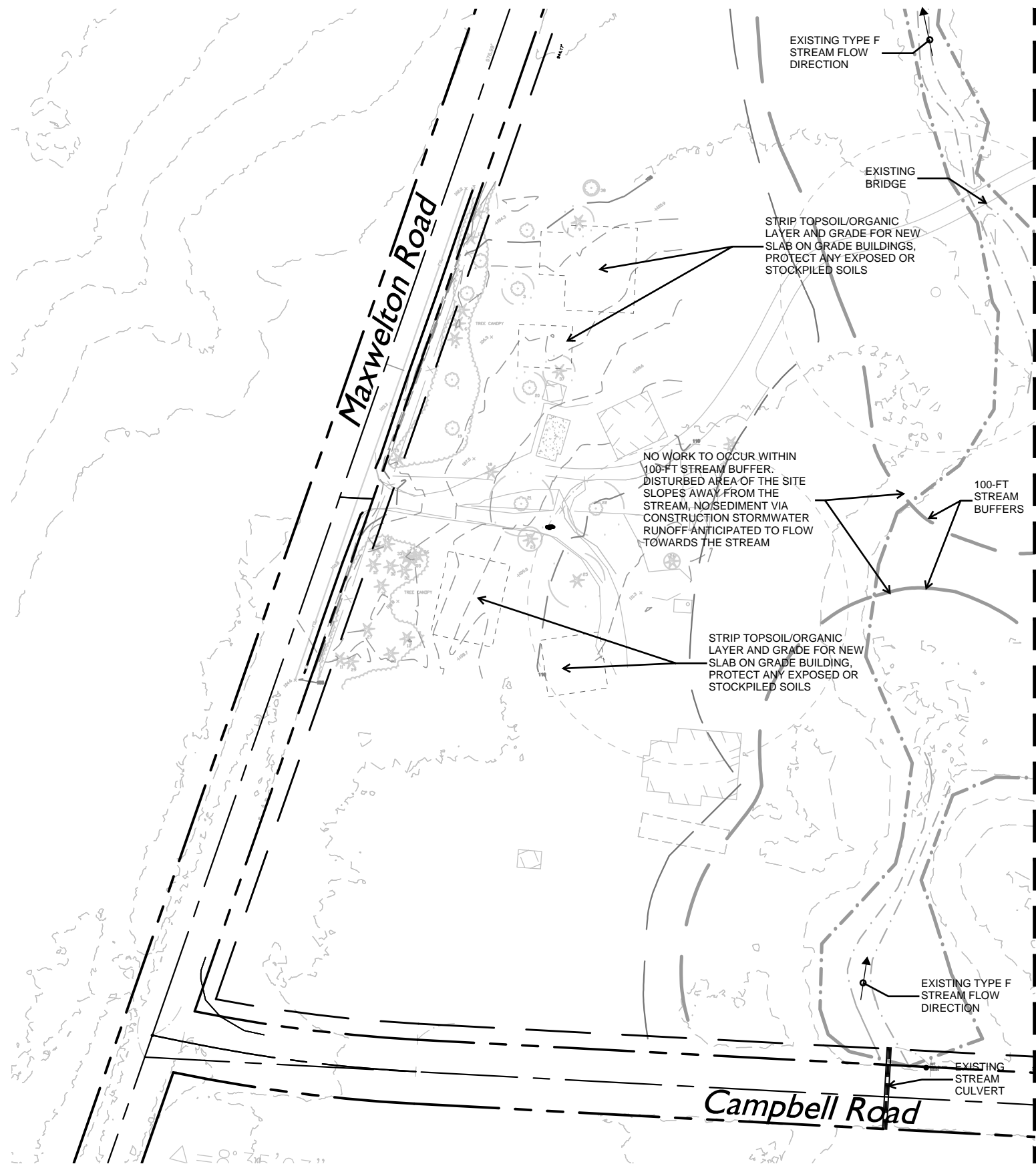
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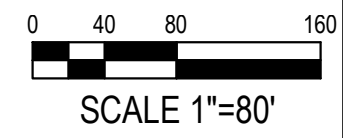


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CONTINUED - SEE SHEET C1.02/C1.03



### Legend

- PROPERTY LINE
- LIMIT
- INTERCEPTOR SWALE
- FILTER FABRIC FENCING
- TEMPORARY CONSTRUCTION FENCING
- TEMPORARY CONSTRUCTION GATE
- BOTTOM OF EXCAVATION
- EXCAVATION SIDE SLOPE

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DRAWING TITLE:  
**TESC PLAN**

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DATE: 06/03/2025

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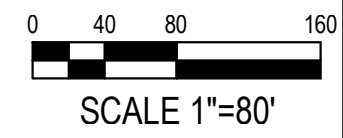
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DRAWING TITLE:  
 TESC PLAN

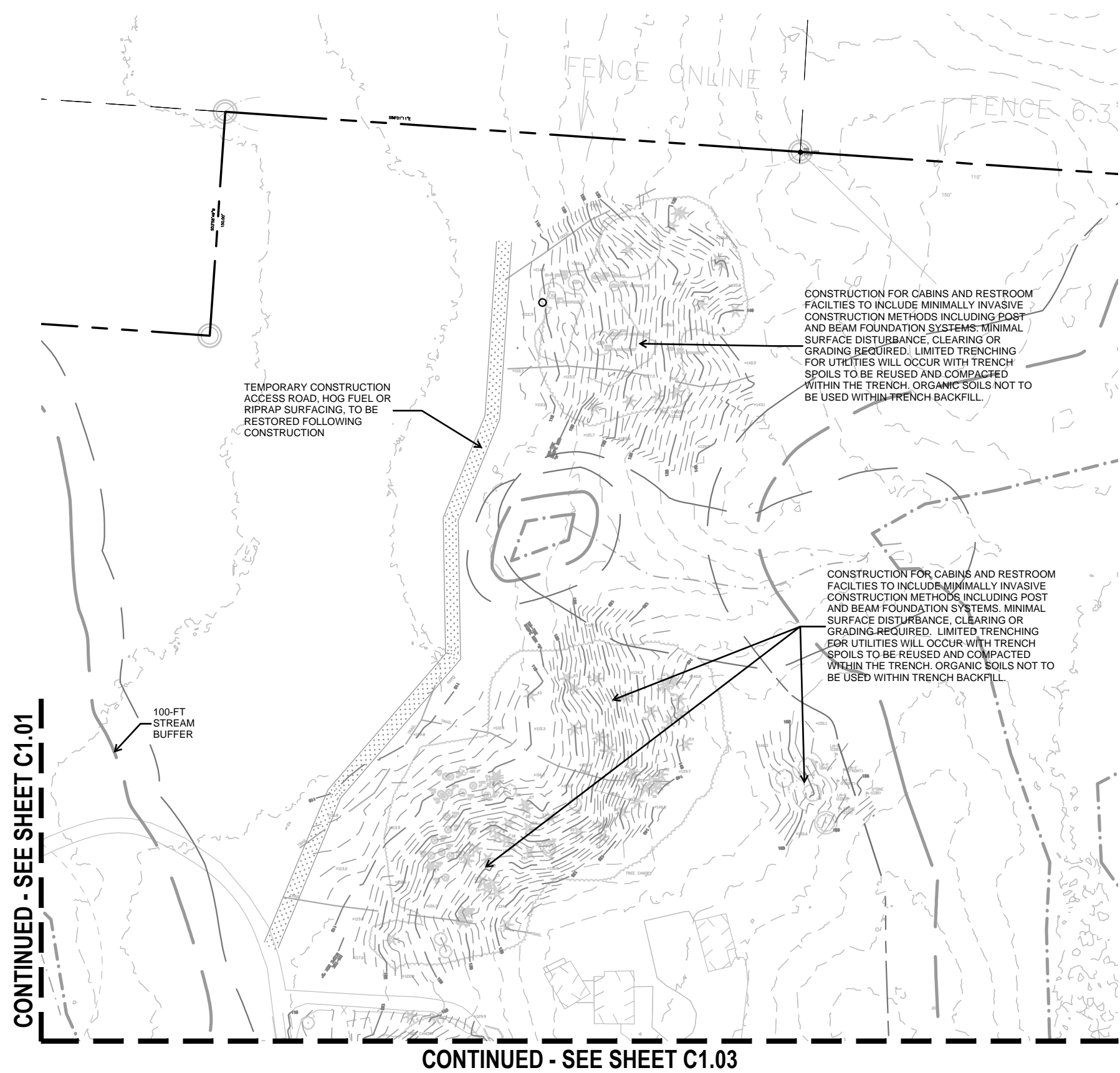
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**C1.02**

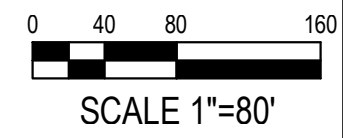
**Legend**

- PROPERTY LINE
- LIMIT
- INTERCEPTOR SWALE
- FILTER FABRIC FENCING
- TEMPORARY CONSTRUCTION FENCING
- TEMPORARY CONSTRUCTION GATE
- BOTTOM OF EXCAVATION
- EXCAVATION SIDE SLOPE



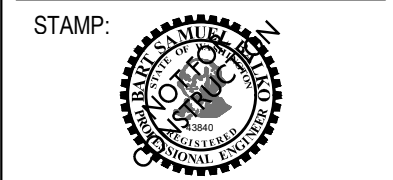
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CONTINUED - SEE SHEET C1.03



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DRAWING TITLE:  
**TESC PLAN**

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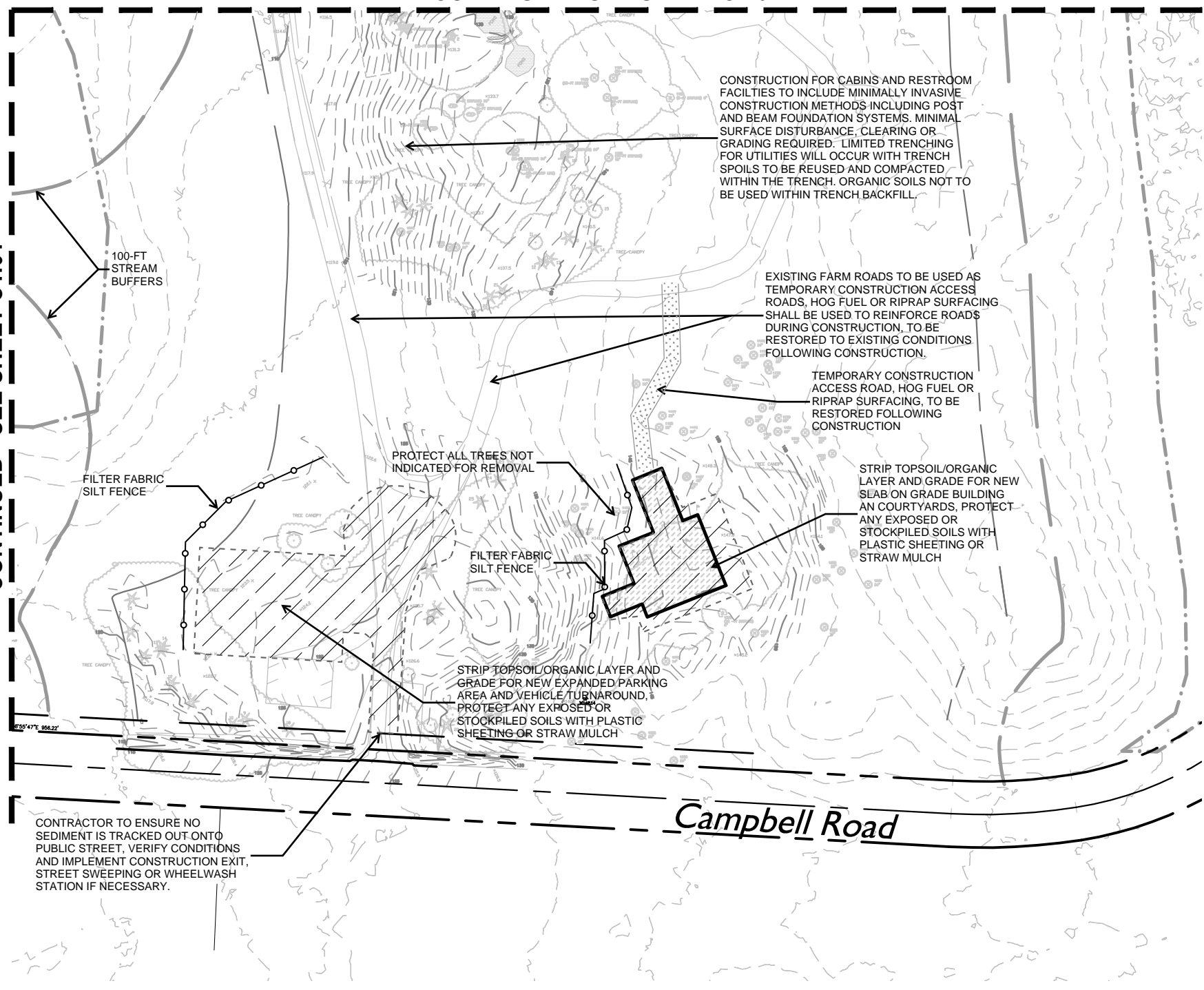
**C1.03**

**CONTINUED - SEE SHEET C1.02**

**CONTINUED - SEE SHEET C1.01**

**Legend**

- PROPERTY LINE
- LIMIT
- INTERCEPTOR SWALE
- FILTER FABRIC FENCING
- TEMPORARY CONSTRUCTION FENCING
- TEMPORARY CONSTRUCTION GATE
- BOTTOM OF EXCAVATION
- EXCAVATION SIDE SLOPE



CONSTRUCTION FOR CABINS AND RESTROOM FACILITIES TO INCLUDE MINIMALLY INVASIVE CONSTRUCTION METHODS INCLUDING POST AND BEAM FOUNDATION SYSTEMS. MINIMAL SURFACE DISTURBANCE, CLEARING OR GRADING REQUIRED. LIMITED TRENCHING FOR UTILITIES WILL OCCUR WITH TRENCH SPOILS TO BE REUSED AND COMPACTED WITHIN THE TRENCH. ORGANIC SOILS NOT TO BE USED WITHIN TRENCH BACKFILL.

EXISTING FARM ROADS TO BE USED AS TEMPORARY CONSTRUCTION ACCESS ROADS, HOG FUEL OR RIPRAP SURFACING SHALL BE USED TO REINFORCE ROADS DURING CONSTRUCTION, TO BE RESTORED TO EXISTING CONDITIONS FOLLOWING CONSTRUCTION.

TEMPORARY CONSTRUCTION ACCESS ROAD, HOG FUEL OR RIPRAP SURFACING, TO BE RESTORED FOLLOWING CONSTRUCTION

PROTECT ALL TREES NOT INDICATED FOR REMOVAL

STRIP TOPSOIL/ORGANIC LAYER AND GRADE FOR NEW SLAB ON GRADE BUILDING AN COURTYARDS, PROTECT ANY EXPOSED OR STOCKPILED SOILS WITH PLASTIC SHEETING OR STRAW MULCH

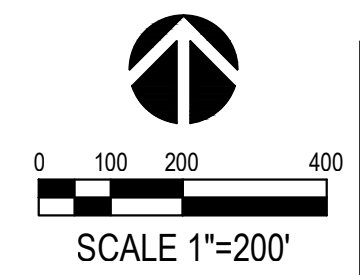
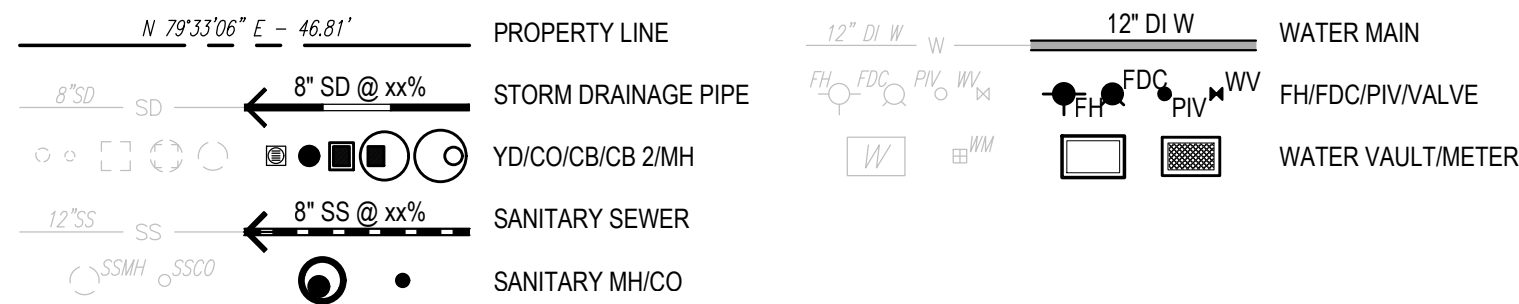
STRIP TOPSOIL/ORGANIC LAYER AND GRADE FOR NEW EXPANDED PARKING AREA AND VEHICLE TURNAROUND, PROTECT ANY EXPOSED OR STOCKPILED SOILS WITH PLASTIC SHEETING OR STRAW MULCH

CONTRACTOR TO ENSURE NO SEDIMENT IS TRACKED OUT-ONTO PUBLIC STREET, VERIFY CONDITIONS AND IMPLEMENT CONSTRUCTION EXIT, STREET SWEEPING OR WHEELWASH STATION IF NECESSARY.

**Campbell Road**

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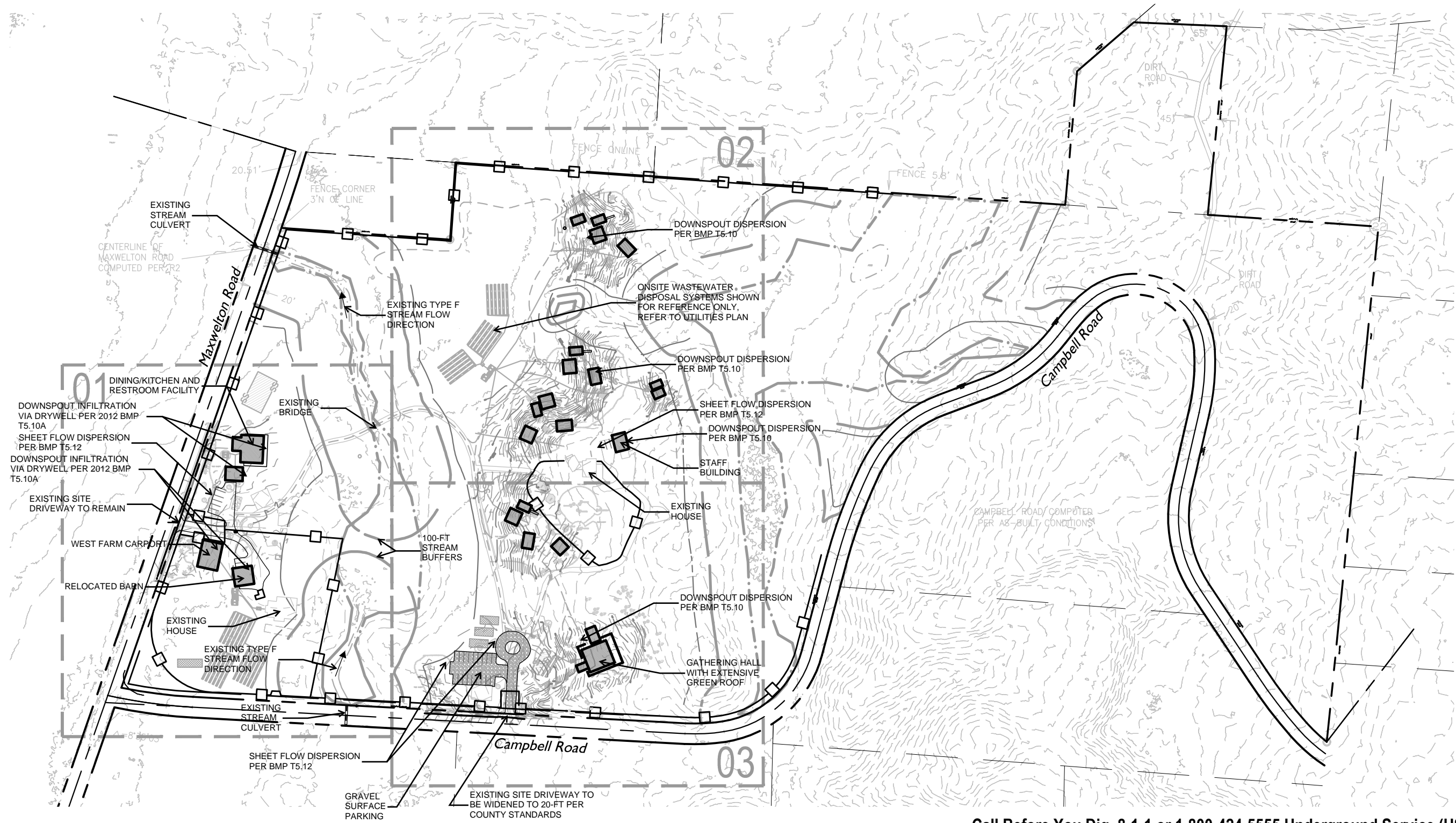
DRAWING TITLE:  
**OVERALL STORM  
DRAINAGE PLAN**

**NOT FOR  
CONSTRUCTION**

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ISSUED FOR: SITE PLAN REVIEW  
DRAWN BY: KNL  
CHECKED BY: BSB  
SCALE: AS INDICATED  
SHEET NO.:

**C2.00**

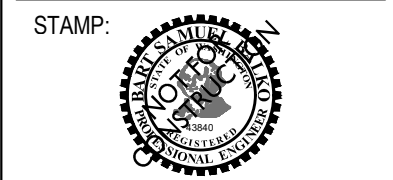
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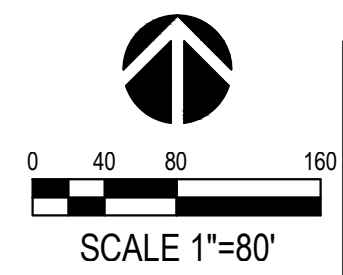
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 3691 CAMPBELL ROAD &  
 6263 MAXWELTON ROAD

DRAWING TITLE:  
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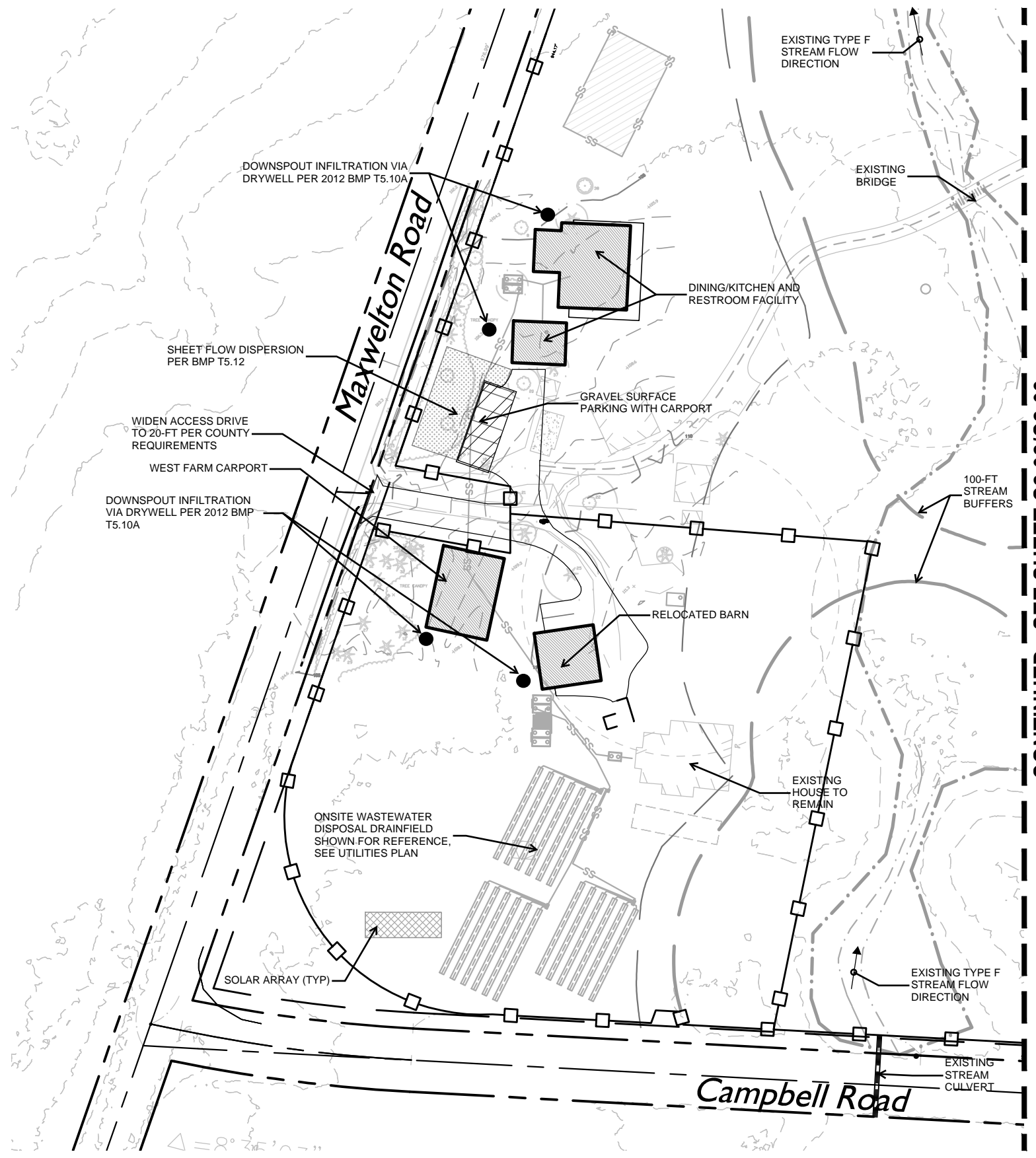
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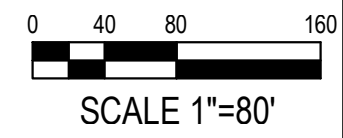
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	PROPERTY LINE
	STORM DRAINAGE PIPE
	SANITARY SEWER
	SANITARY MH/CO
	WATER MAIN
	FH/FDC/PIV/VALVE
	WATER VAULT/METER



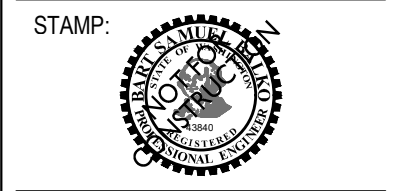
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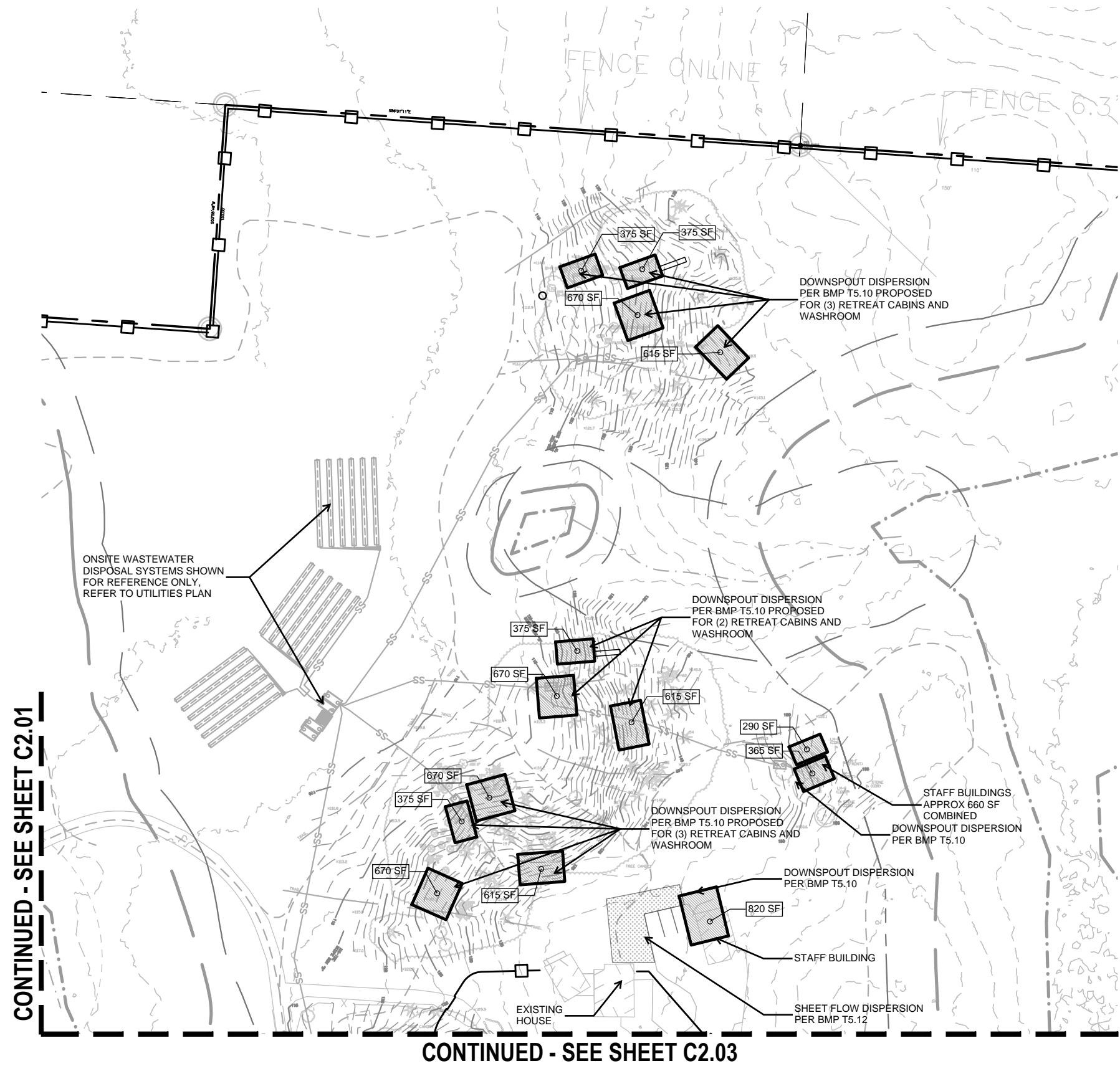
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 SHEET NO.:

**C2.02**

**Legend**

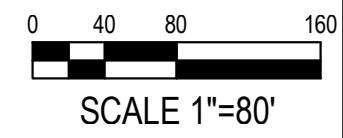
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	STORM DRAINAGE PIPE
	YD/CO/CB/CB 2/MH
	SANITARY SEWER
	SANITARY MH/CO
	WATER MAIN
	FH/FDC/PIV/VALVE
	WATER VAULT/METER



CONTINUED - SEE SHEET C2.01

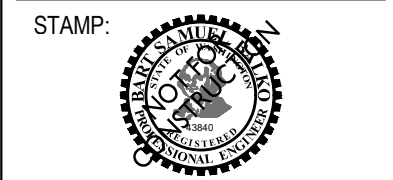
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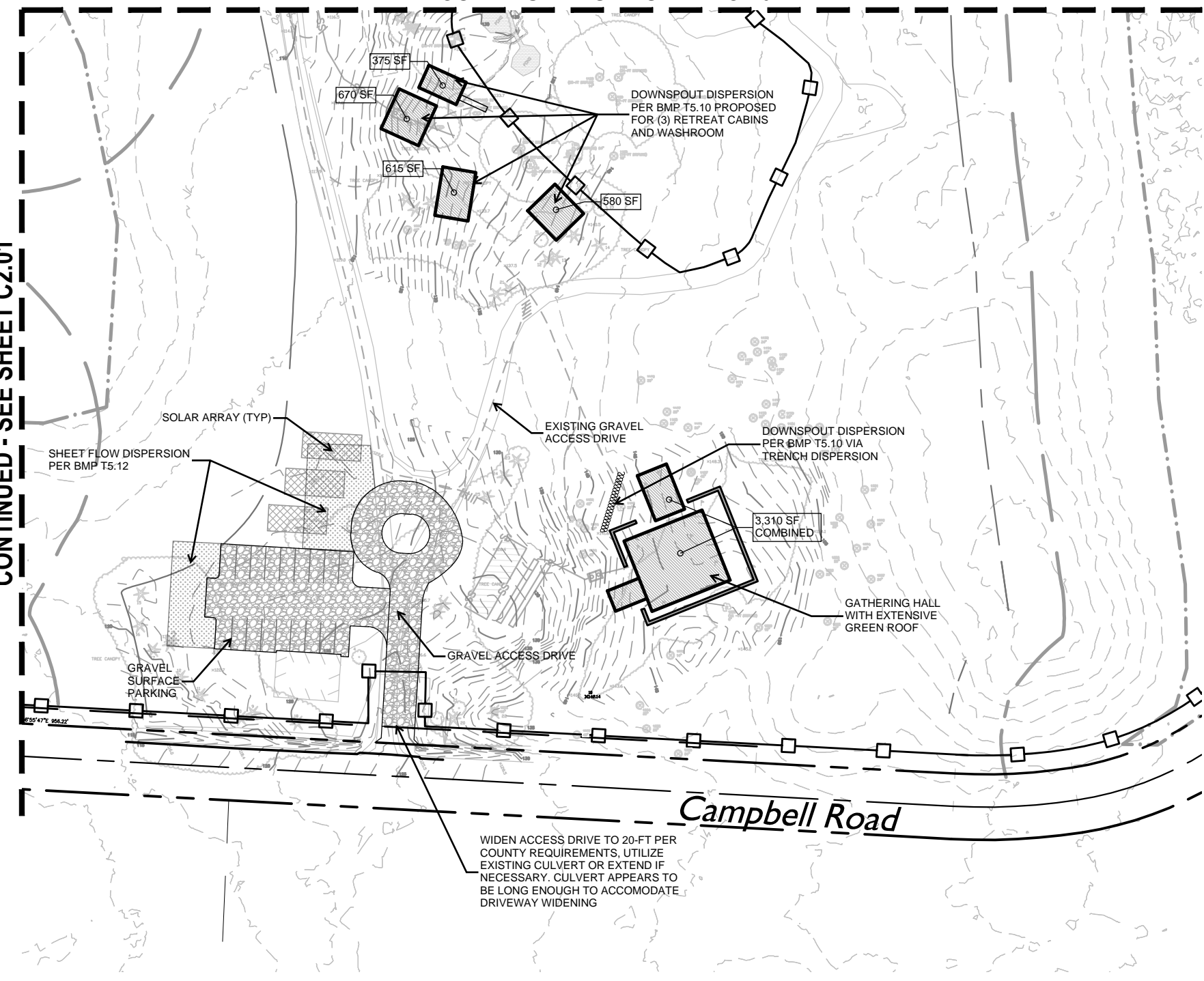
**C2.03**

CONTINUED - SEE SHEET C2.02

CONTINUED - SEE SHEET C2.01

**Legend**

$N 79^{\circ}33'06'' E - 46.81'$	PROPERTY LINE
8" SD	8" SD @ xx% STORM DRAINAGE PIPE
YD CO CB CB 2/MH	YD/CO/CB/CB 2/MH
12" SS	8" SS @ xx% SANITARY SEWER
SSMH SSCO	SANITARY MH/CO
12" DI W	12" DI W WATER MAIN
FH FDC PIV WV	FH FDC PIV WV FH/FDC/PIV/VALVE
W WM	WATER VAULT/METER



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## **APPENDIX II:** Photo Log



Photo 1. General forested conditions.



Photo 2. General upland conditions.





Photo 3. Stream Z.



Photo 4. Stream Y.

## **APPENDIX III:** Author Qualifications

# Statement of Qualifications

## **ALLISON LISI, ECOLOGIST**

Professional Experience: 10 years

Allison Lisi is an Ecologist for Facet. Allison provides a wide range of consulting experience in environmental compliance, permitting, planning, restoration, and management. She has worked on a variety of habitat restoration projects throughout the Midwest, Tennessee, and Washington.

Allison earned a Bachelor of Science degree in Biology and Environmental Studies from the University of Cincinnati. She holds credentials as an ISA Certified Arborist and a Qualified Hydrologic Professional In-Training. Allison has also completed her certification in wetland delineations and watershed management.

## **ELISABETH GONZALEZ, ECOLOGIST**

Professional Experience: 4 years

Elisabeth Gonzalez is an Ecologist for Facet. Elisabeth brings experience in shoreline permitting, forest and marine ecology, wetland delineations, and mitigation plans for residential and commercial development. She completed her training in wetland delineations with the Wetland Training Institute in October of 2021 and has since been performing wetland delineations all across western Washington.

Elisabeth graduated from the University of Colorado, Boulder with a Bachelor of Arts in Environmental Studies with a concentration in Forest and Marine Ecology and Oceanography.